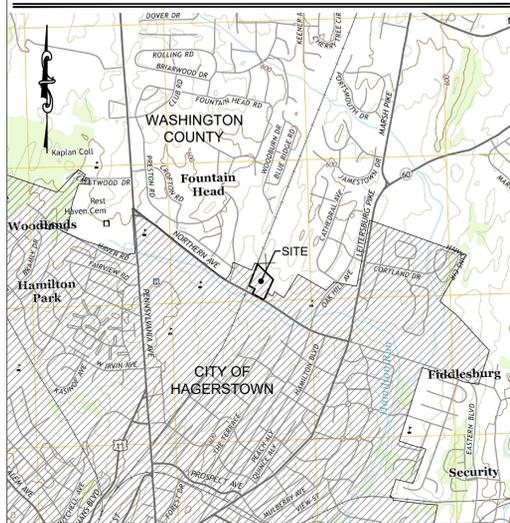


**VICINITY MAP**

SCALE: 1" = 2,000' USGS MAPS (HAGERSTOWN, MARYLAND) ADC MAP 21, F1



**SHEET INDEX**

TYPE	NUMBER	TITLE
C-101	SHEET 03	EXISTING CONDITIONS
C-102	SHEET 02	MINOR SITE PLAN
L-101	SHEET 03	LANDSCAPE PLAN
PP-1.1	SHEET 04	PHOTOMETRIC PLAN

**GENERAL NOTES**

- Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
- No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features. See geotech report by Triad Engineering for subsurface findings. FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
- The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
- The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operations shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
- All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
- The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:
 

Miss Utility	1-800-257-7777
Potomac Edison	1-800-255-3443
Columbia Gas (New Business)	1-800-440-6111
Columbia Gas (Conflicts)	(301) 964-1065
Verizon	(301) 790-7124
Artisium Cable	(240) 420-2082
City of Hagerstown Engineering Department	(301) 739-8577 Ext. 125
City of Hagerstown Utilities Department	(301) 739-8577 Ext. 650
Washington County Soil Conservation District	(301) 797-6821 Ext. 3
- The contractor shall be responsible for coordination of his construction with the construction of other contractors.
- The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
- The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
- Job site safety is the sole responsibility of the contractor. The contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
- The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the completion of fill.
- The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
- It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
- All existing drainage culverts and drainage easements are to be maintained and unaltered.
- There are no existing or proposed pumping stations in this development.
- No outdoor storage of materials except for trailer parking is allowed on the site.
- There are no zoning overlays, 100 year floodplains, wetlands, previous planning or zoning files, proposed buildings, amenities, wireless communication facilities, fee-simple units, sales trailers, flea markets, public, private or membership pools, signage, fencing, walls, dumpsters, wind energy systems, comprehensive plan planned street, or existing forest conservation easements.
- Construction occurring on this site shall comply with NFPA 241, Standard for Safeguarding Construction, Alteration, and Demolition Operations, and Chapter 16 of NFPA 1, Fire Code. No open air burning is permitted. A permit is required from the Hagerstown Fire Marshal to perform blasting operations. Fire Department access shall be maintained to all buildings during construction.
- This site has been designed in accordance with CPED standards, by allowing natural observation from public and neighboring areas, having a well lit site, no blind corners or hidden recesses along building or pathways, no placements of large trees, garages utility structures, fences and gutters next to second story windows or balconies, trees and shrubs 24 inches or lower around street edge of driveway edge buffer to allow visibility into the site from public areas, and avoided large parking where surveillance could be an issue.
- All work shall be completed in a professional and workmanlike manner.
- Tarps, canvas and similar pliable material shall not be used as enclosures for or building materials of buildings or structures. This provision shall not apply to bona fide awnings designed and constructed as such of material intended for use in awnings, or canvas or other pliable materials designed or professionally designed for such purposes.
- This site plan shall be void if the required permits are not secured and substantial construction accomplished within three years of the date this site plan is approved. The approval of this site plan shall expire in three years, unless re-approved by the Planning Commission and relevant agencies.
- The purpose of a site is to set the final approved development of the site until such later time that new or revised plans are submitted for additions or redevelopment of a site. All improvements, including but not limited to conditions or approval, site configuration, parking spaces and landscaping with City Ordinances shall be maintained on an ongoing basis. Failure to maintain features and improvements shown on an approved site plan constitutes a violation of the Land Management Code. A zoning certificate (including zoning approval of a building permit) may be revoke by the Zoning Administrator if the recipient of the certificate fails to maintain the property in accordance with the plans submitted, the requirements of this Chapter, the list of permitted uses as found in Article 4, Section Z, an approved site plan, or any other requirement lawfully imposed in connection with the issuance of the zoning certificate or zoning approval of the building permit.
- Work along street right-of-way, developer is responsible to obtain a Roadside Tree Permit from MD DNR.
- A fire department rapid entry access box (Knox Box) shall be installed at the main building entrance and the exterior entrance to all tenant spaces.

**APPROVALS**

Approved By: \_\_\_\_\_ DATE \_\_\_\_\_

City of Hagerstown Planning Commission

This site plan is approved by the City Engineering Department for a period of two years from date shown.

City Engineer \_\_\_\_\_ DATE \_\_\_\_\_

**MAINTENANCE OF LANDSCAPING**

As the developer/owner of this project, the undersigned agrees to install all landscaping in accordance with this approved plan (or any subsequent approved revision thereto) and bind itself and future owners to maintain said landscaping in substantial conformance with the approved plan of development. Failure to maintain landscaping in accordance with this approved plan constitutes a violation of the approved site plan, subject to enforcement action, as allowed by law, to compel compliance with the plan.

DATE \_\_\_\_\_ PRINTED NAME \_\_\_\_\_

SIGNATURE \_\_\_\_\_

**LEGEND**

	EXISTING	PROPOSED
SUBJECT BOUNDARY	---	---
BUILDING SETBACK LINE	---	---
EASEMENT LINE	---	---
ADJOINER BOUNDARY	---	---
FENCE (METAL)	---	---
EDGE OF WATER	---	---
RAILWAY	---	---
EDGE OF PAVEMENT	---	---
EDGE OF GRAVEL	---	---
CURB	---	---
WALL	---	---
GUARD RAIL	---	---
EDGE OF CONCRETE	---	---
BUILDING	---	---
SIGN (ROAD)	---	---
SIGN (SITE)	---	---
<b>TOPOGRAPHIC FEATURES</b>		
CONTOUR (INDEX)	---	---
CONTOUR (INTERMEDIATE)	---	---
SPOTS ELEVATION	---	---
<b>VEGETATION AREAS</b>		
TREELINE	---	---
DECIDUOUS TREES	---	---
EVERGREEN TREES	---	---
<b>SANITARY SEWER</b>		
GRAVITY LINE	---	---
FORCE MAIN LINE	---	---
MANHOLE	---	---
<b>WATER</b>		
COLD WATER LINE	---	---
FIRE HYDRANT	---	---
VALVE	---	---
<b>STORM DRAINAGE</b>		
STORM SEWER LINE	---	---
MANHOLE	---	---
INLETS	---	---
<b>UTILITIES</b>		
GAS LINE	---	---
ELECTRICAL LINE	---	---
OVERHEAD LINES	---	---
PEDS. BOX, & ETC	---	---
POLE	---	---
LIGHT POLE	---	---

**ZONING DATA**

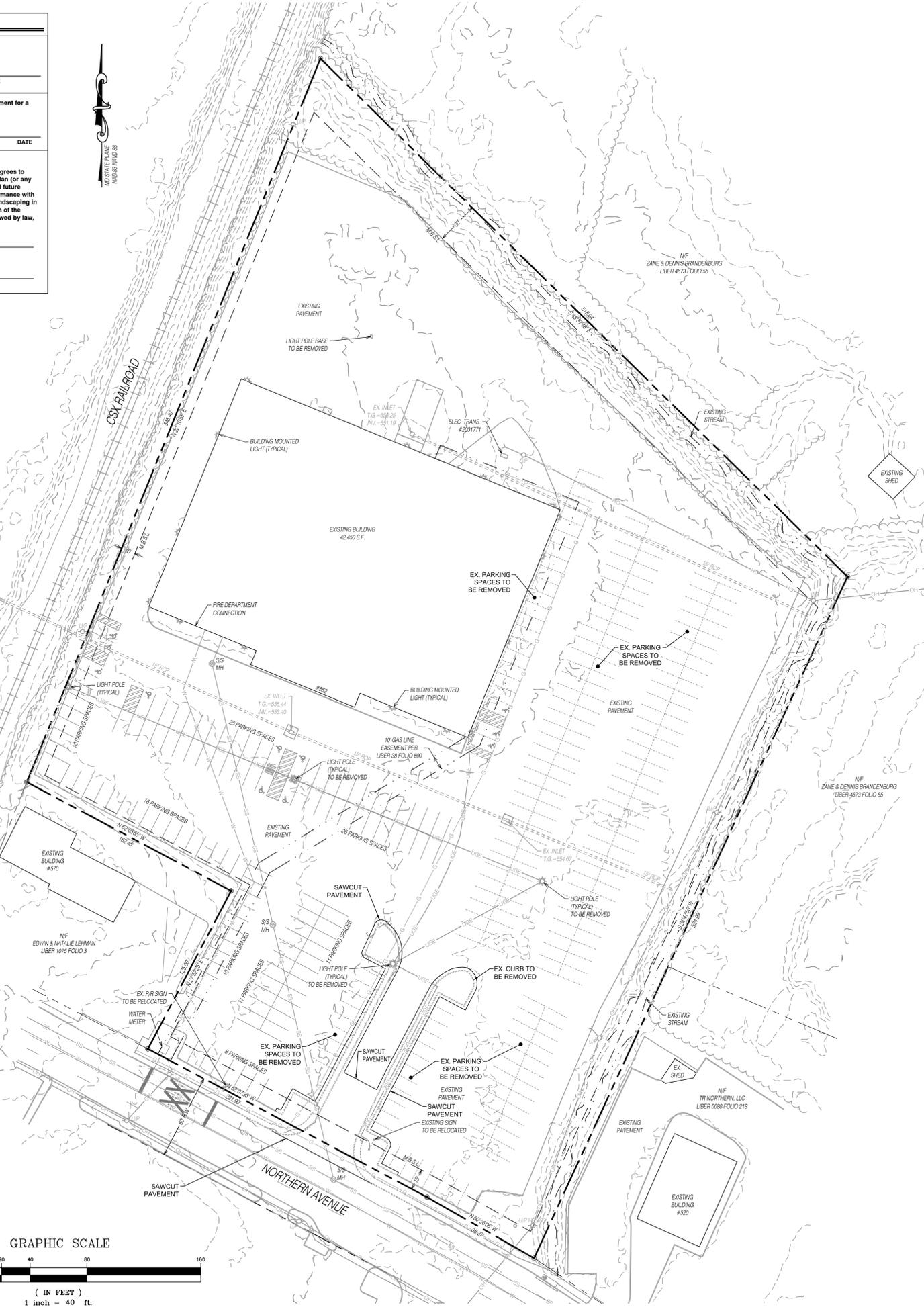
ZONING DISTRICT	CG - COMMERCIAL GENERAL
BUILDING HEIGHT	60 FT.
MINIMUM YARD SETBACK:	
FRONT	15 FT.
*SIDE	10 FT.
*REAR	30 FT.
*25 FEET WHEN ADJOINING A RESIDENTIAL DISTRICT	
BOARD OF ZONING APPEALS' CASE	NONE

**SITE DATA**

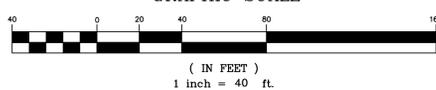
TAX MAP - GRID - PARCEL	0301-0000-0595
ELECTION DISTRICT	21
ACCOUNT NUMBER	015784
CITY UNIQUE ID NUMBER	043-09-002
LIBER / FOLIO	06777 / 00280
AREA SUMMARY:	
PARCEL	5.00 AC.
DISTURBED AREA	4,750 S.F. / 0.11 AC.
EXISTING IMPERVIOUS	223,208 S.F. / 5.12 AC. (85%)
PROPOSED TOTAL IMPERVIOUS	223,939 S.F. / 5.14 AC. (86%)
BUILDING SUMMARY:	
FOOTPRINT	42,450 S.F.
CLASS ROOMS	3,200 S.F.
VACANT	39,250 S.F.
HEIGHT	18 FT.
PROPOSED USE	TRACTOR TRAILER DRIVING SCHOOL
HOURS OF OPERATION	9AM - 5PM MONDAY - SATURDAY
EMPLOYEE SUMMARY:	
TEACHERS/STAFF	3
STUDENTS	24
WATER & SEWER USAGE:	
WATER PROVIDED	CITY OF HAGERSTOWN WATER DIVISION
SEWER PROVIDED	CITY OF HAGERSTOWN WASTEWATER DIVISION
EXISTING ALLOCATION	2519 GPD
PROPOSED ADDITIONAL ALLOCATION	0 GPD
WASTE & RECYCLABLES:	
SOLID WASTE REMOVAL	PRIVATE HAULER: INSIDE TRASH CAN
RECYCLE REMOVAL	PRIVATE HAULER: INSIDE TRASH CAN
SITE LIGHTING:	
EXISTING	POLE & BUILDING MOUNTED
PROPOSED	POLE & BUILDING MOUNTED
SITE SIGNAGE:	
EXISTING	16' HIGH, 9x10', 90 S.F.
PROPOSED	RELOCATE EXISTING SIGN
ADDRESS ASSIGNMENT	502 NORTHERN AVE. HAGERSTOWN, 21742
WAVYER AND/OR VARIANCE	NONE
FOREST CONSERVATION	EXEMPT PER ARTICLE 7.A.3.b.(14)

**PARKING, LOADING & BICYCLE DATA**

USE	REQUIREMENT	CALCULATION	REQUIRED
DRIVING SCHOOL	1 SPACE PER EMPLOYEE; AMPLE STUDENT AND VISITOR PARKING AS DETERMINED BY THE PLANNING COMMISSION	3 EMPLOYEES	3 SPACES
TOTAL REQUIRED SPACES			39 SPACES
TOTAL PROVIDED PARKING SPACES			108 SPACES



**GRAPHIC SCALE**



**NOT FOR CONSTRUCTION**

**HAGERSTOWN COMMUNITY COLLEGE**

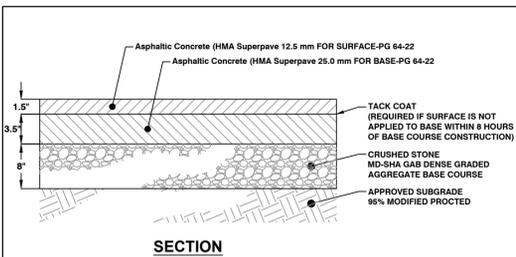
STUDENT CENTER WING  
WEST OF CAMP HILL AVENUE, EAST OF CSX RAILROAD  
CITY OF HAGERSTOWN, MARYLAND  
BFA ARCHITECTS  
473 N. POTOMAC ST. HAGERSTOWN, MD 21740  
ATTN: ANDREW RICHARD (301) 733-5560

Professional Certification  
I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional in the State of Maryland.  
MARYLAND License # 23951  
Expiration Date 08/30/2025

DATE: 4/26/22  
REVIEWED PER CITY ENGINEERING COMMENTS: 4/26/22  
REVIEWED PER CITY FIRE MARSHAL COMMENTS: 4/26/22

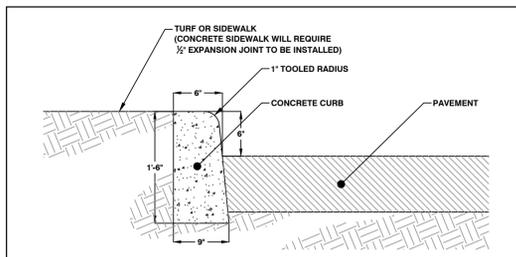
PROJECT NO: 3368.HCC  
DWN BY: DWH DATE: 01-19-2022  
PROJECT MANAGER: ADAM HAGER  
EMAIL: ahager@fsa-inc.com  
TAX MAP: GRID-PARCEL: 0301-0000-0595  
SCALE: 1" = 40'  
SHEET TITLE: EXISTING CONDITIONS  
C-101  
SHEET 01 OF 04

SA-2022-02

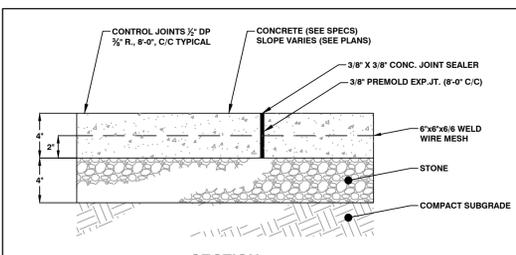


**NOTES:**  
 The Asphalt Binder shall conform to AASHTO MP1-93 Table 1, Standard Specification for Performance Graded Asphalt Binder. Superpave mix designs shall be in conformance with AASHTO PP28-95, Standard Practice for Superpave Volumetric Design for HMA. The Performance Grading shall be achieved by the use of Neat Asphalt with polymer modification when needed.

**1**  
**PAVEMENT - TRUCK**  
 NOT TO SCALE

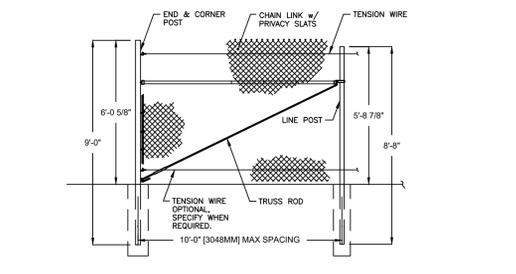


**5**  
**CURB - CONCRETE**  
 NOT TO SCALE

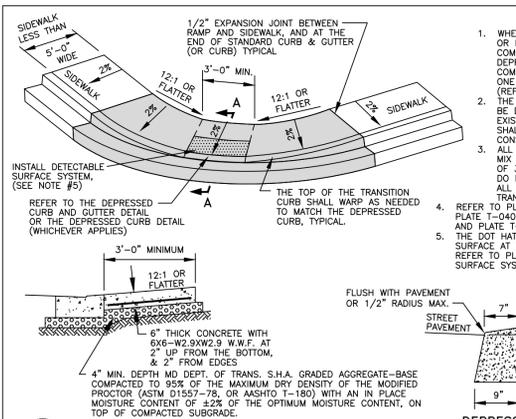


**NOTES:**  
 1. CLASS P-I AIR ENTRAINED CONCRETE  
 2. SIDEWALK TO HAVE 3/8\"/>

**2**  
**SIDEWALK - CONCRETE**  
 NOT TO SCALE



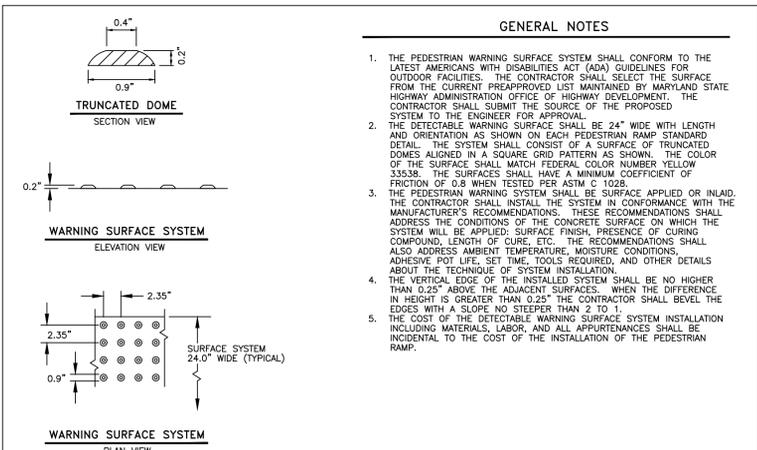
**6**  
**6' SECURITY FENCE W/ PRIVACY SLATS**  
 NOT TO SCALE



**NOTES:**  
 1. WHEN THE DISTANCE BETWEEN TWO RAMPS IS 10'-0\"/>

**3**  
**SECTION AA**  
 SEE NOTE NO. 1

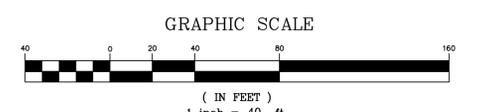
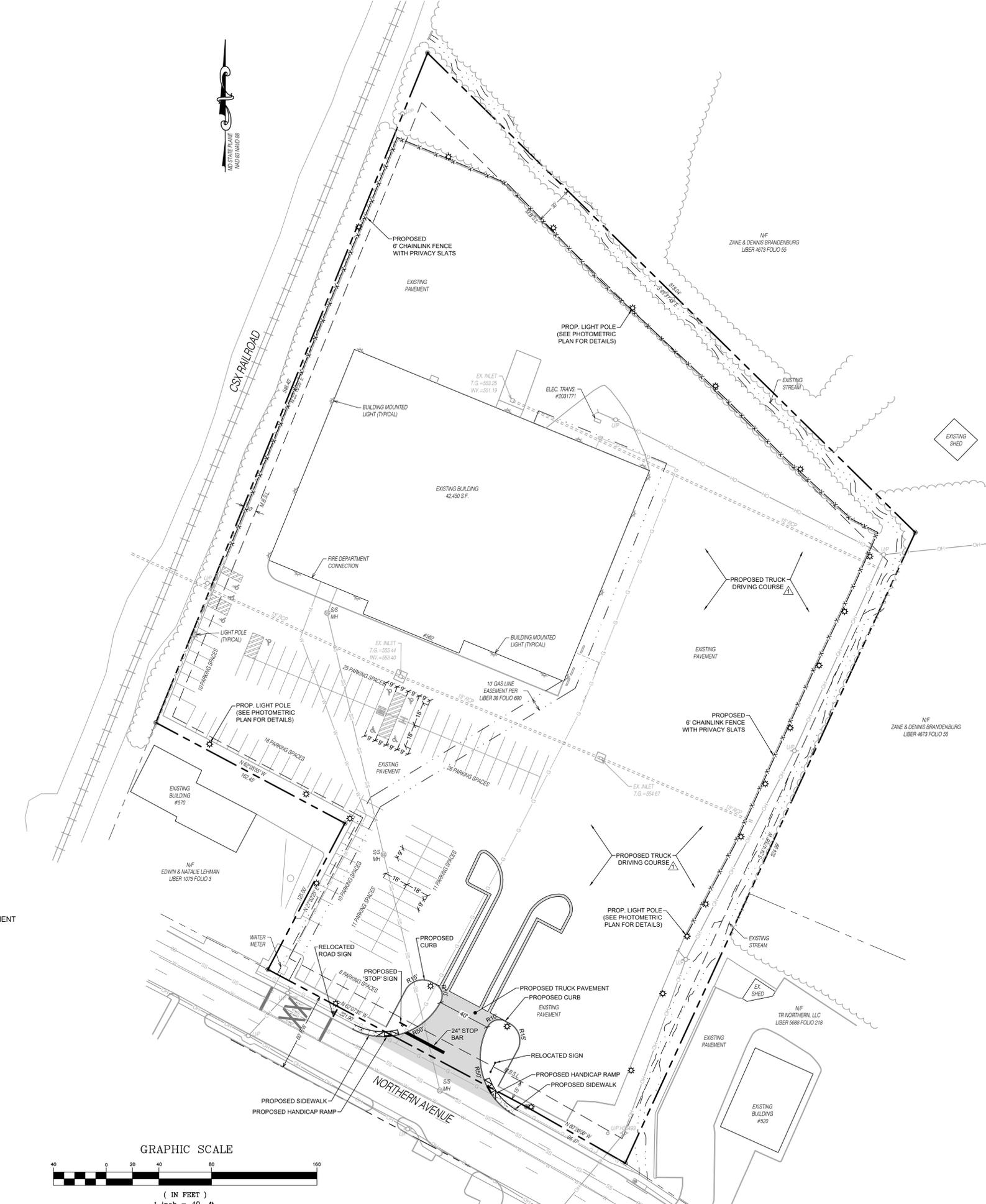
CITY OF HAGERSTOWN, MARYLAND - ENGINEERING AND INSPECTIONS DEPARTMENT		ISSUE DATE: 01-01-03
TRANSPORTATION STANDARD DETAIL SIDEWALK RAMP TYPE 4 (SIDEWALK LESS THAN 5' WIDE WITH NO GRASS STRIP)		REVISIONS 01-01-04 01-01-07
Plate T-056		



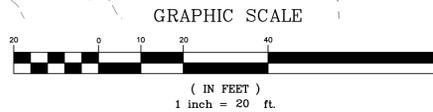
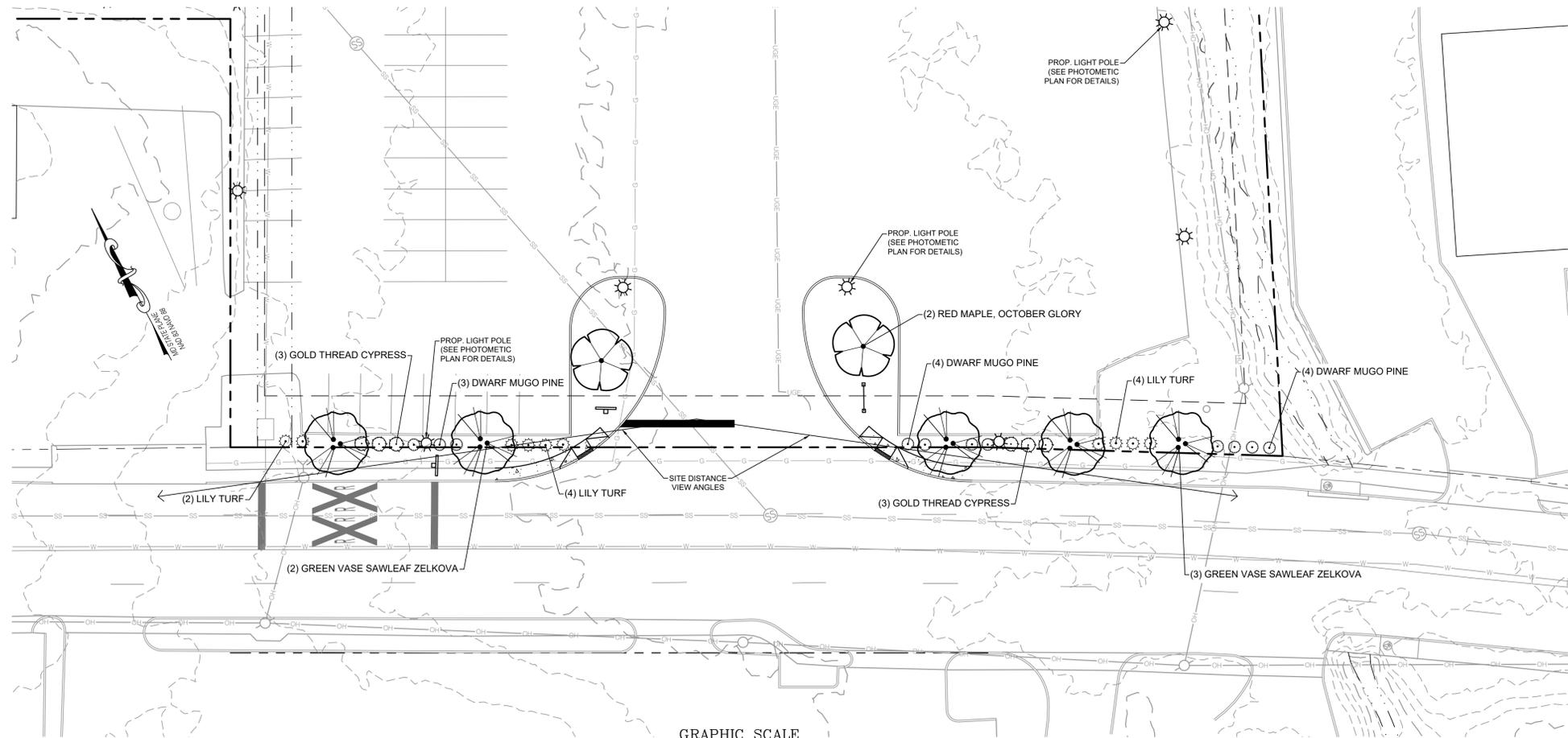
**4**  
**TRANSPORTATION STANDARD DETAIL  
 DETECTABLE WARNING SURFACE DETAILS  
 FOR PEDESTRIAN RAMPS**

**GENERAL NOTES**  
 1. THE PEDESTRIAN WARNING SURFACE SYSTEM SHALL CONFORM TO THE LATEST AMERICANS WITH DISABILITIES ACT (ADA) GUIDELINES FOR OUTDOOR FACILITIES. THE CONTRACTOR SHALL SELECT THE SURFACE FROM THE CURRENT PREAPPROVED LIST MAINTAINED BY MARYLAND STATE HIGHWAY ADMINISTRATION OFFICE OF HIGHWAY DEVELOPMENT. THE CONTRACTOR SHALL SUBMIT THE SOURCE OF THE PROPOSED SYSTEM TO THE ENGINEER FOR APPROVAL.  
 2. THE DETECTABLE WARNING SURFACE SHALL BE 24\"/>

**4**  
**TRANSPORTATION STANDARD DETAIL  
 DETECTABLE WARNING SURFACE DETAILS  
 FOR PEDESTRIAN RAMPS**



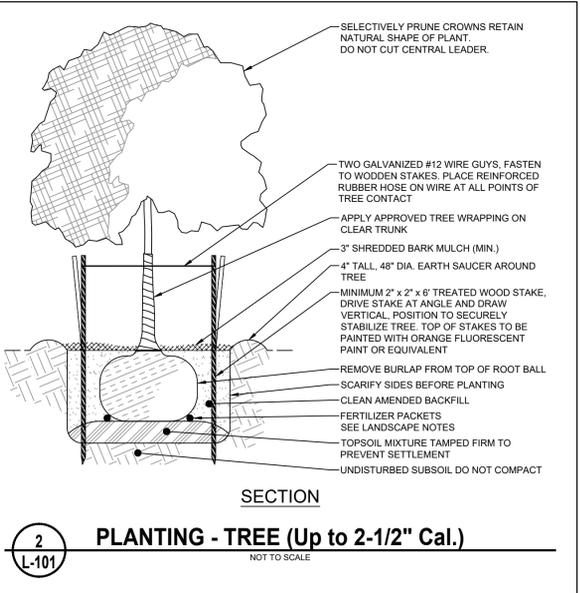
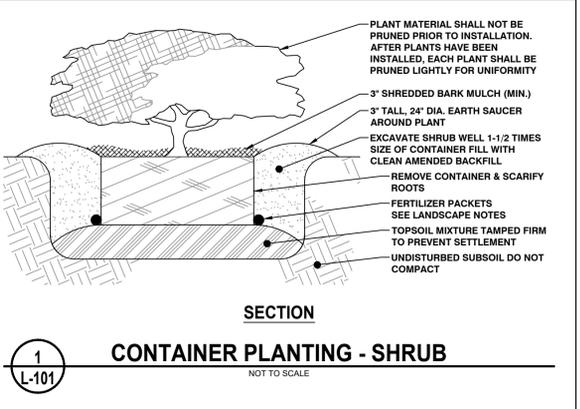
**NOT FOR CONSTRUCTION**  
**HAGERSTOWN COMMUNITY COLLEGE**  
 PROJECT NO. 3368.HCC  
 DATE 01-19-2022  
 PROJECT MANAGER ADAM HAGER  
 EMAIL ahager@fhs-inc.com  
 TAX MAP: GRID-PARCEL 0301-0000-0595  
 SCALE 1" = 40'  
 SHEET TITLE MINOR SITE PLAN  
**C-102**  
 SHEET 02 OF 04



**PLANT SCHEDULE**

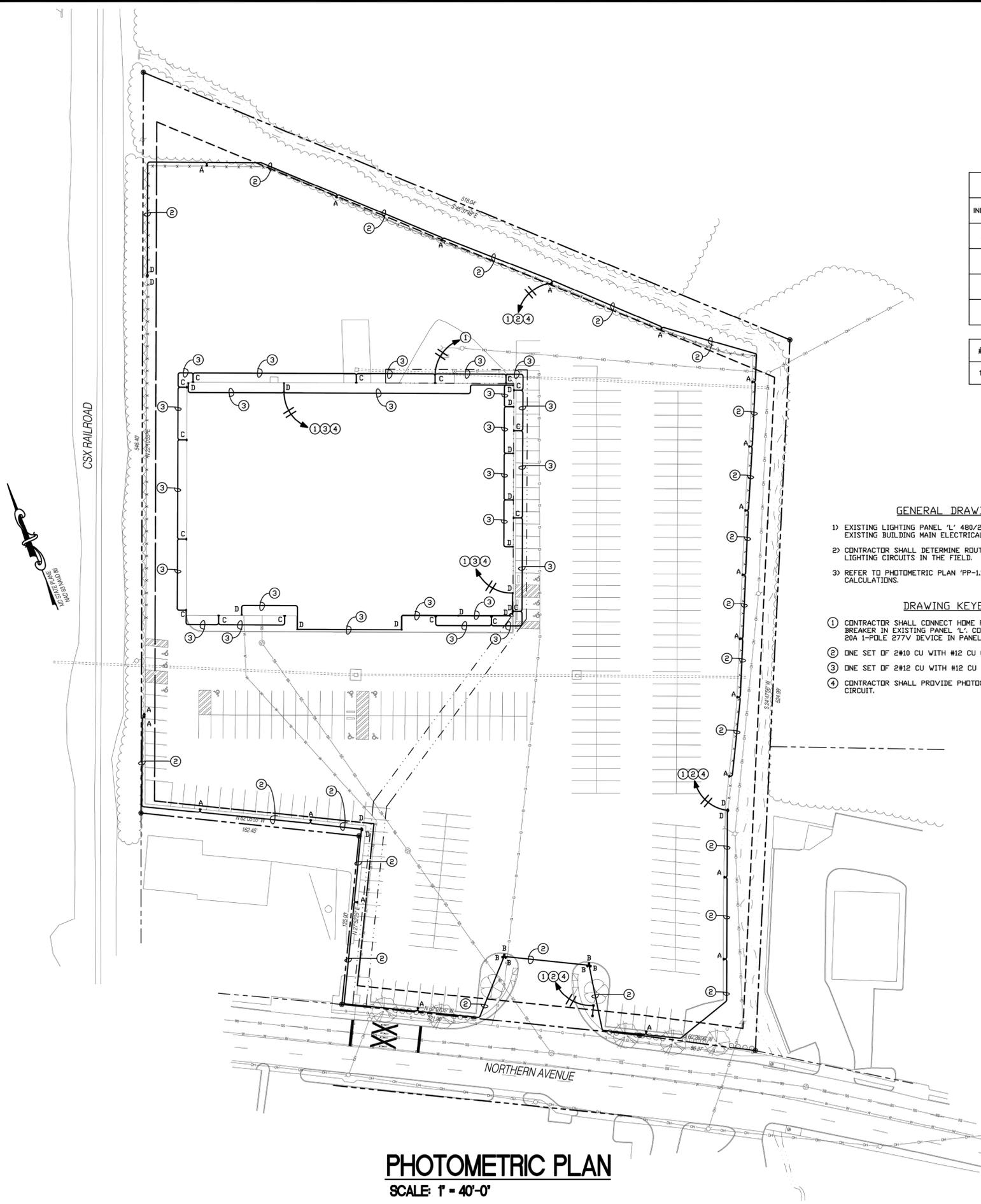
TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL
	Acer rubrum (October Glory)	Red Maple, October Glory	2" Cal.	B&B	2	3/L-101
	Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	2" Cal.	B&B	4	3/L-101
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL
	Chamaecyparis pisifera 'Gold Thread'	Gold Thread Cypress	3 gal		6	1/L-101
	Liriodendron muscari	Lily Turf	1 gal		10	1/L-101
	Pinus mugo 'Compacta'	Dwarf Mugo Pine	3 gal		11	1/L-101

- GENERAL LANDSCAPE NOTES:**
- Landscape contractor is to call Miss Utility and have all underground utilities marked prior to any digging or planting.
  - Landscape Contractor shall install all plant material in a timely fashion.
  - Landscape Contractor shall be responsible for all watering, weeding, repairs and replacements prior to final acceptance.
  - NO Substitutions of plant material without written permission of FSA. Planting plans have been proposed with plant sizes, types, and locations as important design elements.
  - Plants shall be in accordance with the current issue of American Standards for Nursery Stock published by the American Association of Nurserymen.
  - All plants shall be watered thoroughly during installation and prior to final acceptance.
  - All bark mulched areas shall be first covered with Typar Weed Barrier or approved equal.
  - All planting bed areas on the site shall be mulched with a hardwood bark mulch at a depth of approx. 3", unless noted otherwise.
  - Plant material shall be inspected yearly in order to remove and replace dead, diseased vegetation.
  - Warranted plant material that is 25% dead or more shall be considered dead and shall be replaced at no charge.
  - All plant material shall be warranted for one year. 60 days prior to the end of the warranted period, the Engineering Department shall perform an inspection. Of which there should be a 90% survival rate of all plant material. All surviving plant material shall be found in a healthy condition. The warranty shall commence on the date of initial acceptance by the owner.
  - The landscape contractor shall conduct a final inspection with the owner or owner's representative at the end of the warranty period.
  - Fertilizer Packets are to be Nutri-Pak 16-8-8 or approved equal per manufacturer's recommendations.
  - Plants must be maintained in a living condition.



**NOT FOR CONSTRUCTION**  
**HAGERSTOWN COMMUNITY COLLEGE**  
 PROJECT NO: 3368.HCC  
 DWN BY: DWH DATE: 01-19-2022  
 PROJECT MANAGER: ADAM HAGER  
 EMAIL: ahager@fsa-inc.com  
 TAX MAP: GRID-PARCEL 0301-0000-0595  
 SCALE: 1" = 20'  
 SHEET TITLE: LANDSCAPE PLAN  
**L-101**  
 SHEET 03 OF 04

**FSA PUBLIC**  
 FREDERICK SEBERT & ASSOCIATES, INC.  
 LANDSCAPE ARCHITECTS • LAND PLANNERS  
 475 N. POTOMAC ST., WASHINGTON, MD 20740  
 202.791.8000  
 717.251.8111  
 717.251.8007

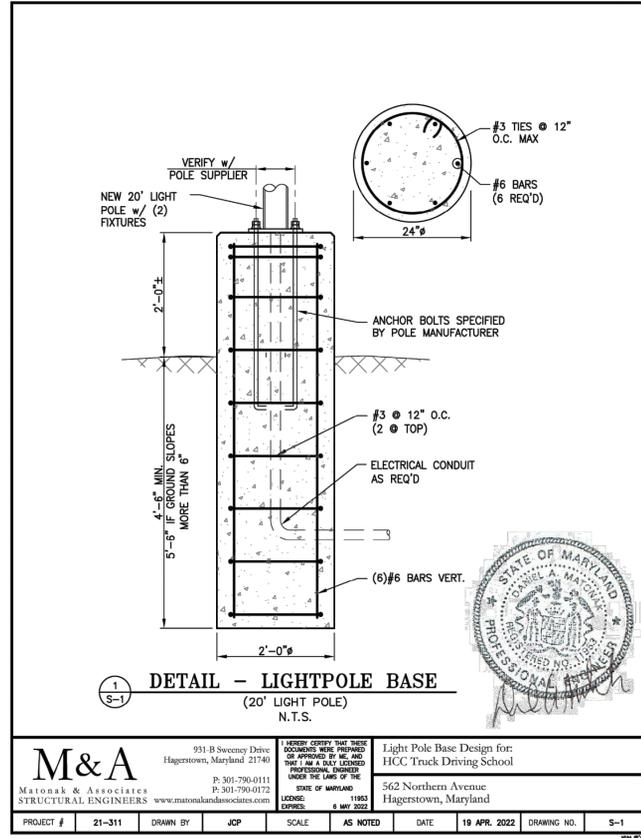


**PHOTOMETRIC PLAN**  
SCALE: 1" = 40'-0"

LUMINAIRE LIST								
INDEX	MANUFACTURER	ARTICLE NAME	ITEM NUMBER	FITTING	LUMINOUS FLUX	LIGHT LOSS FACTOR	CONNECTED LOAD	QUANTITY
A	HUBBELL LIGHTING	AIRO MICRO STRIKE	ASL1-160L-135-5K7-4W-BC	1x B-70-CRI	10971 lm	0.80	133.3 W	21
B	HUBBELL LIGHTING	AIRO MICRO STRIKE	ASL1-160L-135-5K7-50W-U	1x B-70-CRI	18158 lm	0.80	133.1 W	6
C	HUBBELL LIGHTING	WGH3 GLASS WALLPACK	WGH3-120W-5K	1X	16475 lm	0.80	118.8 W	16
D	HUBBELL LIGHTING	SLUNG FLOOD LIGHT	SGF3-320-4K	1x C-70-CRI DATA SHOWN IS ABSOLUTE.	39339 lm	0.80	312.1 W	20

#	NAME	PARAMETER	MIN	MAX	AVERAGE	MIN/AVERAGE	MIN/MAX
1	PROPERTY LINE	PERPENDICULAR ILLUMINANCE	0.055 fc	42.7 fc	3.25 fc	0.017	0.001

- GENERAL DRAWING NOTES:**
- EXISTING LIGHTING PANEL 'L' 480/277V IS LOCATED IN EXISTING BUILDING MAIN ELECTRICAL ROOM.
  - CONTRACTOR SHALL DETERMINE ROUTING BACK TO BUILDING FOR LIGHTING CIRCUITS IN THE FIELD.
  - REFER TO PHOTOMETRIC PLAN 'PP-11' FOR FOOT CANDLE CALCULATIONS.
- DRAWING KEYED NOTES:**
- CONTRACTOR SHALL CONNECT HOME RUN TO 20A 1-POLE 277V BREAKER IN EXISTING PANEL 'L'. CONTRACTOR SHALL PROVIDE 20A 1-POLE 277V DEVICE IN PANEL IF NO SPARE IS EXISTING.
  - ONE SET OF 2#10 CU WITH #12 CU GRND. IN 3/4" CONDUIT.
  - ONE SET OF 2#12 CU WITH #12 CU GRND. IN 3/4" CONDUIT.
  - CONTRACTOR SHALL PROVIDE PHOTOCELL CONTROL FOR THIS CIRCUIT.



**M&A**  
Matonak & Associates  
STRUCTURAL ENGINEERS  
www.matonakandassociates.com

9318 Swansboro Drive  
Hagerstown, Maryland 21740  
P: 301-790-0111  
F: 301-790-0172

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
License Number: 44401  
Expiration Date: 4/21/2023

Light Pole Base Design for:  
HCC Truck Driving School  
562 Northern Avenue  
Hagerstown, Maryland

PROJECT # 21-311 DRAWN BY JCP SCALE AS NOTED DATE 19 APR. 2022 DRAWING NO. S-1

Professional Certification  
I certify that these documents meet, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland.  
License Number: 44401  
Expiration Date: 4/21/2023



**L.S. GRIM, INC.**  
Consulting Engineers

MAIN OFFICE:  
19922 JEFFERSON BLVD., HAGERSTOWN, MD 21742-4367  
PHONE: 301.797.1702 FAX: 301.797.4931  
PHONE TOLL FREE: 1-888-797-GRIM (4746)  
DC METRO OFFICE:  
2275 RESEARCH BLVD., SUITE 500, ROCKVILLE, MD 20850  
©2022 L.S. GRIM, INC. & LESLIE S. GRIM, P.E.

21-097 PERMIT DOCUMENTS

**BFM**  
BUSHEY FEIGHT MORIN ARCHITECTS  
473 NORTH POTOMAC STREET, HAGERSTOWN, MD 21740  
BFMARCHITECTS.COM | 301-733-5600  
©2022, BUSHEY FEIGHT MORIN ARCHITECTS, INC.

HAGERSTOWN COMMUNITY COLLEGE  
TRUCK DRIVING SCHOOL FIT-OUT

BFM# 21070

SITE LIGHTING PLAN  
E-1.3  
04 OF 04 SHEETS  
DATE : 03.09.22

XREFS: TITLER, SITE PLAN