



11400 Robinwood Drive • Hagerstown, MD 21742-6514

### **RFP HCC26-002 for Advanced Technology Center Renovation Project**

**Addendum 2**, posted on October 3, 2025, consists of answers to *some* of the questions received. All questions received as of today's date have been sent to the team to work on answering. Noelker and Hull's document coordinating with Addendum 2 is attached.

NOTE: If contractors do not see their question listed, the college and/or the design team is working on answering. Those questions will be answered in a forthcoming addendum.

#### **Questions & Answers:**

**Q1:** RFP, SECTION 3—PROPOSAL SUBMITTAL FORMAT, 3.9 & 3.10 and Addendum No. 1—This section states the following on the first page "Firms are hereby advised that failure to include all the documents may render the proposal non-responsive and the offer may be rejected." Paragraphs 3.9 and 3.10 of the section require additional information for any subcontractor whose contract value is expected to or exceed \$100,000.00. Addendum No. 1 changes what is required to be submitted with the bid. Due to the dynamic nature of bidding, especially with MEP trades, it will be a significant challenge to provide all this information with the bid submission. Can ALL the information be submitted if contractor is selected for a shortlist interview vs. what is directed in Addendum No. 1? Please clarify.

**A1:** The college has significantly decreased the amount of information that must be submitted for key principal subcontractors over \$100,000 at the time the initial bid is due. The information required to be submitted for these subcontractors is very minimal compared to what we have required in the past (company name, minority status, trade, and license if applicable). Contractors shall follow the information provided in Addendum 1 regarding when different key subcontractor information shall be submitted.

**Q2:** RFP, SECTION 3—PROPOSAL SUBMITTAL FORMAT, 3.9 & 3.10 and Addendum No. 1—This section states the following on the first page "Firms are hereby advised that failure to include all the documents may render the proposal non-responsive and the offer may be rejected." Paragraphs 3.9 and 3.10 of the section require additional information for any subcontractor whose contract value is expected to or exceed \$100,000.00.

Addendum No.1 lists what should be included in the bid from sub-contractors and what can be provided if contractor is short listed. However, Addendum No.1 omits any mention of the

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following requirements per RFP, SECTION 3—PROPOSAL SUBMITTAL FORMAT, 3.9 & 3.10.

- Three relevant project references- Include a brief description listing each project's size, relevant features, start and end dates, subcontract value and an Owner's reference contact name, current telephone number, and email address.
- EMR and Workman Compensation and Insurance reports

Please clarify if these requirements are to be met at bid or at shortlist time.

- A2: The two bulleted requirements above are not required to be submitted at bid or shortlist time. If the college requests any clarifications on subcontractor references or insurance reports during the evaluation process, we will reach out to the shortlisted GC.
- Q3: Please clarify what is expected to be submitted by the General Contractor at the time of bid, and what is expected to be submitted after being shortlisted. Per Addendum #1 there is only clarification for the subcontractor requirements and not the prime contractor.
- A3: There are no changes to what must be submitted by the GC at the time of bid. There is only a change to what subcontractor information must be submitted. Price proposals shall be submitted in the format shown in RFP section 3.2 and technical proposals shall be submitted in the format shown in section 3.3. Subcontractor information will be submitted in the GC's technical proposal per section 3.3m. This will be a list of key subcontractors over \$100,000 with their company name, minority status, trade, and licenses (if required for type of trade). The completed AIA A305 forms and proposed team resumes for key subcontractors will be provided by the shortlisted GCs to the [bids@hagerstowncc.edu](mailto:bids@hagerstowncc.edu) email by 12:00PM on October 31, 2025.
- Q4: Is it expected of the general contractor and the subcontractors to complete the AIA A305 form & Project Team Resume or just the general contractor? If the Subcontractors are to provide these documents, we request an extension of information to be turned in post bid.
- A4: The GC must submit their AIA A305 and project team resumes at the time of bid. The AIA A305 form and resumes for key subcontractors will be submitted by shortlisted GCs only. Please also refer to Addendum 1 subcontractor documentation clarification section and Q3 above.
- Q5: Please provide which trades are included in the key principal subcontractors to submit the technical portion of the bid process.
- A5: Any subcontractor trade with a value over \$100,000. For our last renovation project, it was trades for glass/glazing, flooring, roofing, drywall/ceilings/wall panels, fire/sprinkler, specialties, plumbing, HVAC, electrical, sitework/utilities/demo/landscaping, masonry, structural steel/metals, concrete, and excavating.

**Q6:** Is the general contractor required to provide project references in both section 3.6 Contractor Qualification Statement (AIA A305) AND section 3.7 Relevant Project Experience or can the project references in the AIA A305 suffice?

**A6:** Project references in the AIA A305 will suffice.

**Q7:** Per the RFP section 3.9 it calls for the subcontractor to provide three relevant projects and their EMR & Workman Compensation & Insurance Reports but per Addendum #1 these items are not listed. Please confirm that these documents are not to be submitted with the bid.

**A7:** The are not required for subcontractors. Please see Q2 above as well.

**Q8:** Per the RFP the Subcontractors are to provide their EMR & Workman Compensation & Insurance Reports at the time of bid. We would like to ask for an additional 48 hours post bid to submit these documents.

**A8:** Please see Q2 above. This will not be required unless we need clarification from shortlisted GCs during the evaluation process.

**Q9:** The bid submission calls for a MBE Participation Statement and no MBE Forms are provided to show the 29% MBE Requirement has been met which is usual for hard bids. Please clarify if the statement is to be waived and MBE forms provided or to remain the same.

**A9:** The GC will mark their minority status on Attachment A, *Contractor Information Form*. Minority status for key subcontractors will need to be listed in the technical proposal per RFP section 3.3m. The college is requiring a minority participation plan per section 3.5 to be submitted. MBE forms in addition to this will not be required.

**Q10:** Can MM SYSTEMS be added as an acceptable manufacturer for expansion joint cover assemblies (specification 079513)?

**A10:** Please submit CSI Substitution Request Form for review.

**Q11:** Can Colphene 3000 be an approved substitute for sheet waterproofing, section 071300, page 2, article/paragraph 2.02?

**A11:** Proposed substitute is acceptable with submitted request form.

**Q12:** Can Sopra-XPS 30 be an approved substitute for thermal insulation, section 072100, page 2, article/paragraph 2.02/A?

**A12:** Proposed substitute is acceptable with submitted request form.

**Q13:** Can Sopraseal Stick VP be an approved substitute for air barriers, section 072700, pages 1-2, article/paragraph 2.01?

**A13:** Proposed substitute is acceptable with submitted request form.

**Q14:** Can ICI Scientific be an approved substitute for wood laboratory casework, section 123553.19, page 2, article/paragraph 2.01, A?

**A14:** Proposed substitute is acceptable with submitted request form.

**Q15:** Confirm that temporary fence can be 6' high panels.

**A15:** 6'-0" high fence panels are acceptable.

**Q16:** Specifications, Vol 1, 01 10 00, Part 1, 1.09, A, 2— Who is to bear the cost of Employee Screening (background checks), the contractor or owner? Please clarify.

**A16:** Please see clarification provided in Addendum 1.

**Q17:** Specifications, Vol 1, 01 40 00, Part 3, 2.05— There is a blank that is not filled in this specification. Please clarify or provide content for this blank.

**A17:** Delete blank. Not applicable.

**Q18:** Specifications, Vol 1, 01 40 00, Part 1, 1.10, C— There are two blanks that are not filled in this specification. Please clarify or provide content for this blank.

**A18:** Delete blanks. Not applicable.

**Q19:** Drawing S101 calls for plumbing by others. Will concrete patching after the plumbing demolition and install in the foundation slab be by contractor or a third-party?

**A19:** GC's means and methods. All concrete shall be patched as required after plumbing demolition and any new under-slab work.

**Q20:** Can sub-contractors visit the site also on the week of the 6th or 13th of October? Please clarify.

**A20:** The college will have the ATC open from 8:00 AM -12:00 PM on Monday October 6. This is the last date that we will have the building open.



**Upcoming Deadlines:**

The deadline for questions and substitution requests is October 8, 2025, at 12:00 PM.

Proposal responses must be received by **October 22, 2025, at 1:00 PM.** Offerors shall reference the RFP for submission details. Please pay careful attention to the requirement to be registered on Bid Locker to submit a proposal for this project.

Respectfully submitted,

A handwritten signature in cursive script that reads "Alicia Cullop".

Alicia Cullop  
Director of Procurement Services



**NOELKER  
AND HULL**  
ASSOCIATES, INC.  
ARCHITECTS

## ADDENDUM NO. 2

**Date:** October 3, 2025

**Project No.:** 24901

**Client:** Hagerstown Community College

**Project:** Advanced Technology Center Renovation

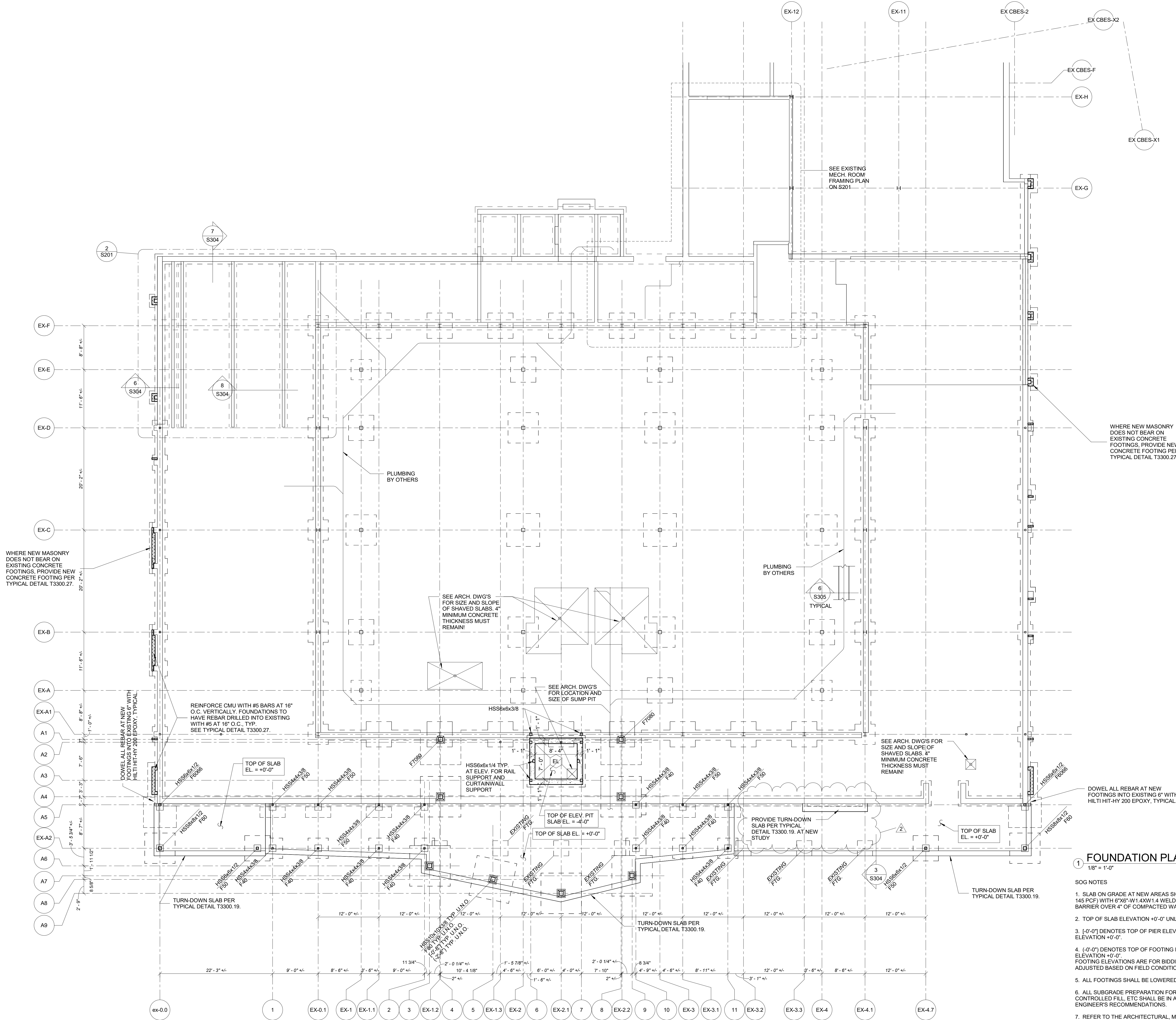
This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents, dated September 5, 2025, as noted below.

This Addendum consists of the attached revised Sheets S101, D102, A101, A403, A405, A406, A501, A504, A505, and A506.

### CHANGES TO THE DRAWINGS

1. Sheet S101 – Foundation Plan
  - A. Delete sheet in its entirety and replace with attached revised sheet.
2. Sheet D102 – Demolition Plan- First Floor
  - A. Delete sheet in its entirety and replace with attached revised sheet.
3. Sheet A101 – Floor Plan- First Floor
  - A. Delete sheet in its entirety and replace with attached revised sheet.
4. Sheet A403 – Building Sections
  - A. Delete sheet in its entirety and replace with attached revised sheet.
5. Sheet A405 – Building Sections
  - A. Delete sheet in its entirety and replace with attached revised sheet.
6. Sheet A406 – Building Sections
  - A. Delete sheet in its entirety and replace with attached revised sheet.
7. Sheet A501 – Wall Sections
  - A. Delete sheet in its entirety and replace with attached revised sheet.
8. Sheet A504 – Wall Sections
  - A. Delete sheet in its entirety and replace with attached revised sheet.
9. Sheet A505 – Wall Sections
  - A. Delete sheet in its entirety and replace with attached revised sheet.
10. Sheet A506 – Wall Sections
  - A. Delete sheet in its entirety and replace with attached revised sheet.

Autodesk Drawings 2025 10/20/2025 2:25:25 AM



## 1 FOUNDATION PLAN

1/8" = 1'-0"

SOG NOTES

- SLAB ON GRADE AT NEW AREAS SHALL BE 4" NORMAL WEIGHT CONCRETE (FC=3000 PSI, 145 PCF) WITH 6X6-W14XW14 WELDED WIRE FABRIC OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER 4" OF COMPACTED WASHED GRAVEL.
- TOP OF SLAB ELEVATION +0'-0" UNLESS NOTED OTHERWISE.
- (-)-0'-0" DENOTES TOP OF PIER ELEVATION MEASURED FROM TOP OF SLAB ON GRADE ELEVATION +0'-0".
- (-)-0'-0" DENOTES TOP OF FOOTING ELEVATION MEASURED FROM TOP OF SLAB ON GRADE ELEVATION +0'-0". FOOTING ELEVATIONS ARE FOR BIDDING PURPOSES ONLY AND MAY HAVE TO BE ADJUSTED BASED ON FIELD CONDITIONS ENCOUNTERED DURING EXCAVATION.
- ALL FOOTINGS SHALL BE LOWERED TO BEAR BELOW ANY UTILITIES. SEE TYPICAL DETAIL.
- ALL SUBGRADE PREPARATION FOR THE SLAB ON GRADE, FOOTINGS, INSTALLATION OF CONTROLLED FILL, ETC SHALL BE IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- REFER TO THE ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL DRAWINGS FOR BELOW GRADE UTILITIES, BELOW GRADE CONDUITS, SLAB DEPRESSIONS, ETC.

EXISTING BUILDING INFORMATION SHOWN HAS BEEN REPRODUCED FROM OTHER DRAWINGS AND HAS NOT BEEN FIELD VERIFIED. CONTRACTOR SHALL VERIFY ALL THE EXISTING INFORMATION NECESSARY FOR CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. SCHEDULE EVENTS TO ALLOW THE ARCHITECT A MINIMUM OF TWO WEEKS TIME FOR COORDINATION OF DISCREPANCIES.

## PROJECT TEAM



NOELKER  
AND HULL  
ASSOCIATES, INC.  
ARCHITECTS

6 NORTH EAST STREET, SUITE 300  
FREDERICK, MD | 21701-5680  
P: 301.662.8611 | F: 301.662.8632  
NOELKERHULL.COM



## TRIAD ENGINEERING, INC.

1075 D Sherman Ave  
Hagerstown, MD | 21740  
P: 301.797.6400 | F: 301.797.2424



## HUMAN & ROHDE, INC.

Landscape Architects  
512 Virginia Ave  
Towson, MD | 21284  
P: 410.825.3855 | F: 410.825.3887



## Advanced Consulting Engineers P.A.

Structural Engineers  
5235 Westview Drive  
Suite 100  
Frederick, MD | 21703  
P: 301.258.8884



## Henry Adams, LLC

400 Baltimore Ave  
Suite 400  
Baltimore, MD | 21204  
P: 410.296.6500



## Wright Engineering, LLC

Data / Communications  
853 Ripple Stream Court  
Joppa, MD | 21085  
P: 410.877.6297 | F: 866.635.0374

The Contract Documents for the indicated public improvement were prepared under my supervision and, to the best of my knowledge and belief, they comply with the relevant building codes of the State of Maryland.  
Signature \_\_\_\_\_ Date \_\_\_\_\_  
License # \_\_\_\_\_ Expiration Date \_\_\_\_\_

## PROJECT INFORMATION

### PROJECT TITLE

## THE ADVANCED TECHNOLOGY CENTER RENOVATION

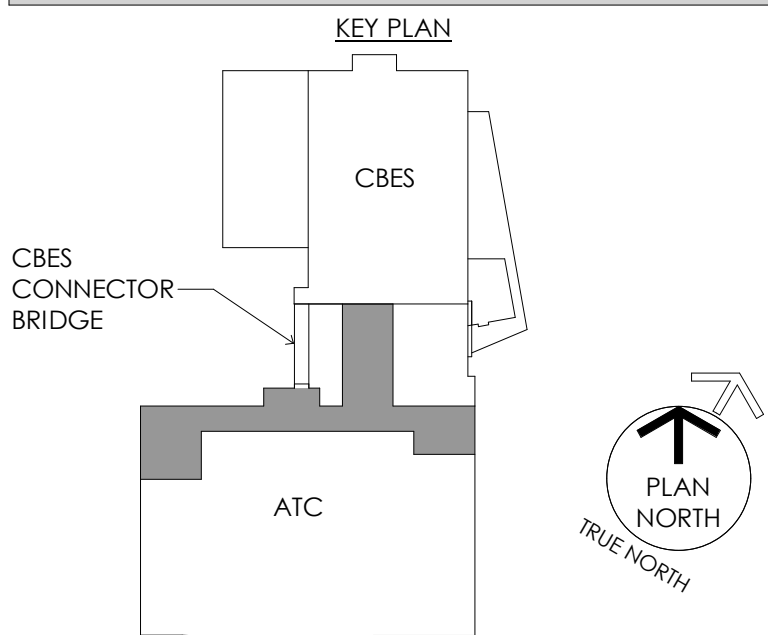
### PROJECT ADDRESS

11400 ROBINWOOD DRIVE  
HAGERSTOWN, MD 21742

### PROJECT OWNER



## KEY PLAN



DESCRIPTION:	DATE:
DESIGN DEVELOPMENT SUBMISSION	09/20/2024
50% CONSTRUCTION DOCUMENTS	03/14/2025
95% CONSTRUCTION DOCUMENTS	05/02/2025
100% CONSTRUCTION DOCUMENTS	06/06/2025
PERMIT SUBMISSION	07/16/2025
BID SUBMISSION	09/05/2025
ADDENDUM #2	10/03/2025

CAD DWG FILE:  
DRAWN BY: NHA  
CHK'D BY: NHA

JOB NUMBER: **24901 & DGS CC-02-MC23-482**  
ISSUE DATE: **07/16/2025**

SHEET TITLE:

## FOUNDATION PLAN

SHEET NUMBER:

**S101**  
SHEET 15 OF 181

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## PROJECT INFORMATION

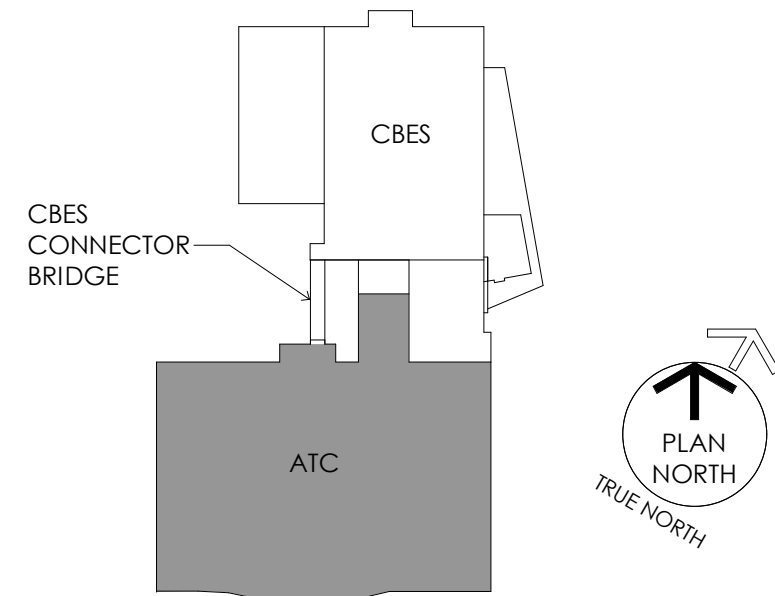
PROJECT ADDRESS

PROJECT OWNER



## SHEET INFORMATION

### KEY PLAN



ISSUED FOR

[illegible]

CAD DWG FILE:

DRAWN BY: NHA

CHK'D BY: NHA

JOB NUMBER: 24901 & DGS CC-02-MC23-482

ISSUE DATE: 09/05/2025

SHEET TITLE:

**DEMOLITION PLAN - FIRST FLOOR**

SHEET NUMBER:

# D102

SHEET 25 OF 181

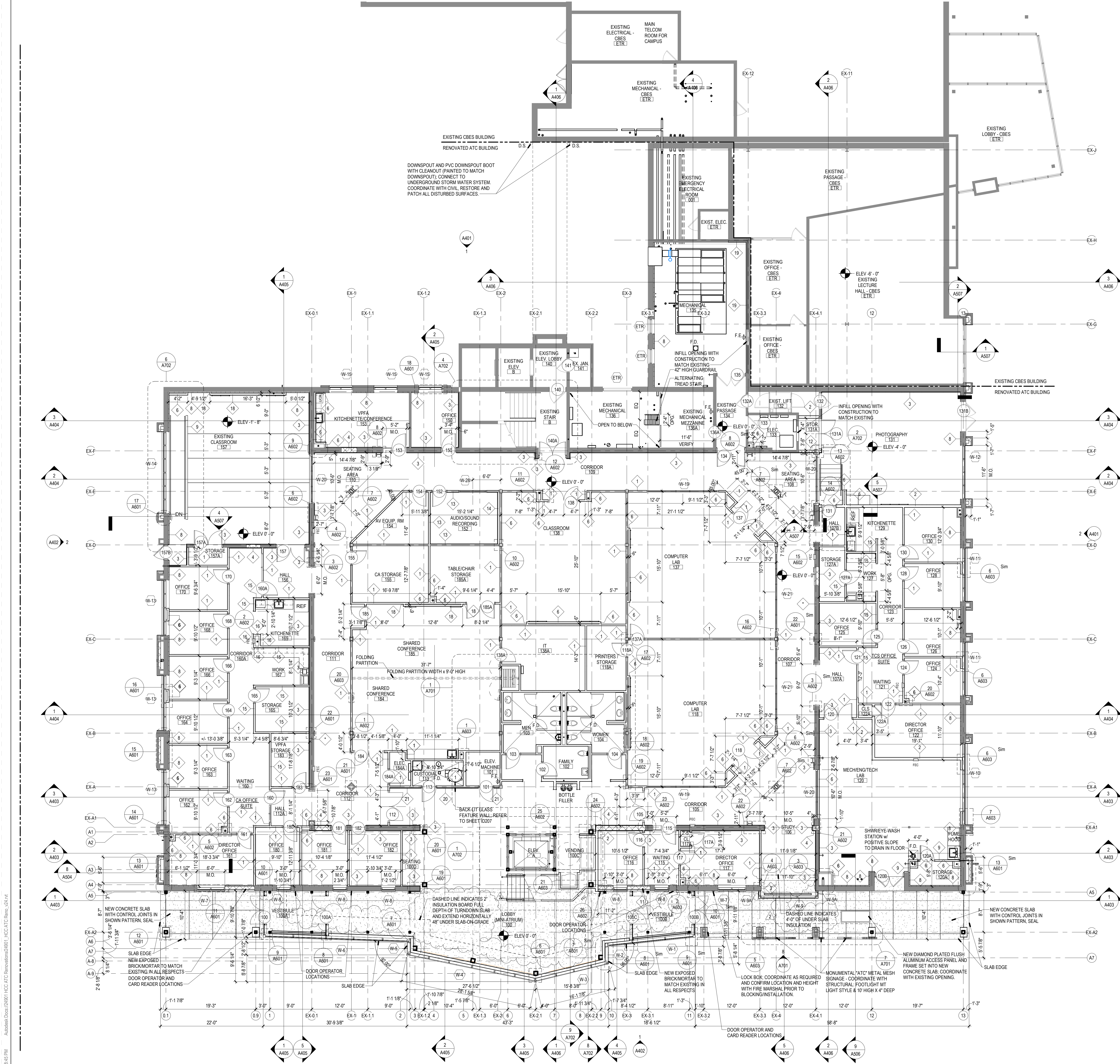
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1. CONTRACTOR SHALL COORDINATE ITEMS TO BE SALVAGED WITH OWNER.
2. REMOVE WALLS FROM FLOOR TO STRUCTURE ABOVE. INCLUDE ARCHITECTURAL, MECHANICAL, ELECTRICAL, ITEMS, EQUIPMENT, ETC. REFER TO MECHANICAL/ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
3. REFER TO AND COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL DEMOLITION WORK REQUIRED BUT NOT INDICATED ON THIS DRAWING.
4. FOR DEMOLITION AND PATCHING OF WALLS REQUIRING NEW FINISHES, REFER TO FINISH SCHEDULE FOR MATERIALS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING OF THEIR OWN TRADES' WORK.
6. EACH TRADE TO COORDINATE THEIR RESPECTIVE DEMOLITION RESPONSIBILITIES WITH OTHER TRADES ON THE PROJECT.
7. CONTRACTOR TO MAINTAIN FIRE RATINGS OF ALL FLOORS, WALLS AND CEILINGS. FILL ALL VOIDS, HOLES AND OPENINGS CREATED DUE TO DEMOLITION WITH APPROVED RATED STRUCTURAL FILL OR OTHER FIRE SAFING MATERIAL, TO MAINTAIN THE FIRE RATINGS OF FLOORS, WALLS AND CEILINGS.
8. PATCH AND REPAIR EXISTING CEILINGS AS REQUIRED DUE TO DEMOLITION.
9. COORDINATE DEMOLITION WITH NEW WORK.
10. SALVAGE ITEMS TO BE BRICK, BLOCK AND PATCHING TO MATCH EXISTING, EXTERIOR AND INTERIOR, COORDINATE.
11. SAW CUT EXISTING SLAB FLOORS AS REQUIRED FOR NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION WORK. ALL FLOORS NOT SHOWN ON DEMOLITION PLAN SHALL BE DEMOLISHED.

#	DESCRIPTION
1	REMOVE WINDOW (OR PORTION) INCLUDING ANY DOORS AND/OR WINDOWS SHOWN AS DASHED IN ITS ENTIRETY. PATCH EXISTING FLOOR TO RECEIVE NEW FINISHES AS SCHEDULED.
2	REMOVE PORTION OF WALL, SALVAGE EXISTING BRICK - COORDINATE w/ NEW CONSTRUCTION.
3	REMOVE WINDOW AND PORTION OF WALL BELOW, SALVAGE EXISTING BRICK - COORDINATE w/ NEW CONSTRUCTION.
4	REMOVE WINDOW IN ITS ENTIRETY. INFILL WITH CONSTRUCTION TO MATCH EXISTING.
5	REMOVE DOOR, FRAME, AND HARDWARE IN ITS ENTIRETY.
5A	REMOVE DOOR, FRAME, AND HARDWARE IN ITS ENTIRETY; INFILL WITH CONSTRUCTION TO MATCH EXISTING.
6	REMOVE HARDWARE ONLY- DOOR & FRAME TO REMAIN.
7	REMOVE BASE AND FLOOR FINISH IN ITS ENTIRETY.
8	SAW CUT AND REMOVE PORTION OF CONCRETE SLAB (OR PORTION - HATCHED) IN ITS ENTIRETY. PREPARE AREA FOR NEW CONSTRUCTION.
9	REMOVE WALL, FINISH DOWN TO EXISTING SUBSTRATE IN ITS ENTIRETY.
10	CAREFULLY CUT EXISTING STEEL GUARDRAIL AND PREPARE FOR NEW GUARDRAIL.
10A	REMOVE WALL-MOUNTED HANDRAILS AND PREPARE FOR NEW HANDRAILS.
11	REMOVE CEILING IN ITS ENTIRETY.
12	REMOVE PLUMBING FIXTURE. - REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
13	REMOVE TOILET PARTITION IN ITS ENTIRETY.
14	REMOVE COUNTERTOP AND/OR CASEWORK IN ITS ENTIRETY.
15	REMOVE STAIRS, RAILING, AND PLATFORM.
16	REMOVE FIRE EXTINGUISHERS.
17	REMOVE COUNTERTOP AND/OR CASEWORK IN ITS ENTIRETY.
18	REMOVE DRINKING FOUNTAIN, AND PERTAINING PLUMBING (COORDINATE WITH PLUMBING) PATCH AND REPAIR FLOOR / WALL AS REQUIRED TO MATCH EXISTING FINISHES.
19	REMOVE FOLDING PARTITION DOOR IN ITS ENTIRETY.
20	REMOVE EXTERIOR WALL AND VENEER (OR PORTION) SHOWN AS DASHED. PROVIDE LINTEL, PER STRUCTURAL DRAWINGS IF REQUIRED. - COORDINATE w/ NEW CONSTRUCTION.
21	REMOVE AND SALVAGE EXISTING VENDING MACHINES. TURN OVER TO OWNER AND REFER TO NEW PLANS FOR RELOCATION OF EQUIPMENT.
22	REMOVE EXTERIOR VENEER AND COLUMN SHOWN AS DASHED. - COORDINATE w/ NEW CONSTRUCTION AND STRUCTURAL DRAWINGS.
23	REMOVE PORTION OF LANDSCAPE, LAWN, AND SOIL AND PREPARE AREA FOR NEW LANDSCAPE.
24	REMOVE METAL COPING IN ITS ENTIRETY; PREPARE FOR NEW COPING AND FLASHING, COORDINATE WITH NEW WORK.
25	REMOVE METAL COPING, BLOCKING AND PRECAST FACIAE DOWN COPING IN ITS ENTIRETY; COORDINATE WITH NEW WORK.
26	REMOVE EXISTING ROOF MEMBRANE, FLASHING, AND INSULATION DOWN TO EXISTING ROOF DECK. PREPARE ROOF FOR NEW ROOF SYSTEM COORDINATE WITH NEW BUILDING SYSTEMS MOUNTED ON ROOF.
27	REMOVE ROOF PENETRATIONS, ROOF TOP EQUIPMENT AND CURBS PERTAINING TO EXISTING EQUIPMENT AND HATCHES; PATCH AND REPAIR ROOF AS REQUIRED FOR INSTALLATION OF NEW INSULATION AND COPING MEMBRANE, COORDINATE WITH MECHANICAL AND PLUMBING DRAWINGS.
28	REMOVE EXISTING ROOF (OR PORTION-HATCHED) ROOF FRAMING, METAL DECK, METAL COPING, PRECAST FACIAE, AND INSULATION IN ITS ENTIRETY; PREPARE ROOF FOR NEW WORK AND COORDINATE WITH STRUCTURAL.
29	REMOVE EXISTING METAL ROOF IN ITS ENTIRETY; PREPARE ROOF FOR NEW METAL ROOF SYSTEM.
30	REMOVE EXISTING EXTERIOR WALLS, WINDOWS AND DOMED METAL ROOF IN ITS ENTIRETY.
31	REMOVE EXISTING BRIDGE GLASS STRUCTURE (WALLS AND DOMED ROOF) IN ITS ENTIRETY. MAINTAIN ELEVATED SLAB AND STEEL FRAMING AND ENCLOSED PANELS AND FRAMING BELOW. COORDINATE WITH NEW WORK.
32	REMOVE EXISTING MECHANICAL SYSTEMS IN BRIDGE. COORDINATE WITH MECHANICAL, AND NEW WORK.
33	REMOVE CONCRETE PADBASE AND CUT OUT CONCRETE/CURB IN WALL AS REQUIRED TO REPLACE WITH BRICK. PATCH VENEER WITH BRICK TO MATCH.
34	EXTEND CUT AS REQUIRED FOR NEW ELEVATOR PIT FOOTING AND FOUNDATION.
35	REMOVE FLUSH STEEL ACCESS PANEL AND FRAME; PREPARE FOR NEW WORK.
36	CUT OPENING IN EXISTING ROOF DECK FOR NEW SKYLIGHTS; PREPARE ROOF FOR NEW INSULATION AND TPO ROOF SYSTEM.
37	CUT OVERLAP SCUPPERS INTO EXISTING PRECAST FACIAE/PARAPET, TYPICAL OF 2.
38	MAINTAIN AND PROTECT EXISTING PIPING AT EXISTING ROOF DRAINS; COORDINATE NEW ROOF DRAINS WITH PLUMBING SLAB AND STEEL FRAMING.
39	REMOVE STOREFRONT, AND WALL ABOVE IN ITS ENTIRETY. CMU WALL BELOW TO FLUSH WITH FIRST FLOOR LEVEL, PATCH FIRST FLOOR LEVEL SLAB AS REQUIRED.
40	SAW CUT EXISTING FLOOR FOR NEW FOOTINGS, REFER TO SHEETS S201 & S304 FOR NEW FOOTINGS / ELEVATED STRUCTURAL FLOOR FRAMING.
41	REMOVE LOUVERED SLOTTES AND PREPARE FOR NEW WORK.
42	REMOVE EXISTING LOUVER (LOW OR HIGH) AND PREPARE FOR NEW INFILL TO MATCH EXISTING.
	ITEMS REMOVED LIGHTLY DENOIED BY TYPICAL DASHED LINES

5 0 5 10 15 20  
1/8" = 1'-0"  
SCALE FEET





- FLOOR PLAN GENERAL NOTES
1. ALL DAMAGE OR DISTURBANCE TO GRADING, INCLUDING AT NEW PIER FOOTING FOUNDATION AND SHALL BE REPAIRED AND RESTORED AS REQUIRED; SEE SHEET L100.
  2. ALL NEW AND PATCHED BRICKMORTAR EXPOSED TO VIEW (EXTERIOR AND INTERIOR) SHALL MATCH EXISTING IN ALL RESPECTS; REUSE SALVAGED BRICK WHERE POSSIBLE.
  3. GRIND DOWN EXISTING CONCRETE SLAB AS REQUIRED TO ACHIEVE 1/8" ± 1'-0" SLOPE FOR NEW DRAINAGE PATTERNS, COORDINATE.

**PROJECT TEAM**

**NOELKER AND HULL ASSOCIATES, INC.**  
ARCHITECTS  
6 NORTH EAST STREET, SUITE 300  
FREDERICK, MD | 21701-5680  
P: 301.662.8611 | F: 301.662.8632  
NOELKERHULL.COM

**TRIAD ENGINEERING, INC.**  
1075 D Sherman Ave  
Hagerstown, MD | 21740  
P: 301.797.6400 | F: 301.797.2424

**HUMAN & ROHDE, INC.**  
Landscape Architects  
512 Virginia Ave  
Towson, MD | 21286  
P: 410.825.3885 | F: 410.825.3887

**Advanced Consulting Engineers P.A.**  
Structural Engineers  
5235 Westview Drive  
Suite 100  
Frederick, MD | 21703  
P: 301.258.8884

**Henry Adams, LLC**  
400 Baltimore Ave  
Suite 400  
Baltimore, MD | 21204  
P: 410.296.6500

**Wright Engineering, LLC**  
Data / Communications  
853 Ripple Stream Court  
Joppa, MD | 21085  
P: 410.877.6297 | F: 866.635.0374

The Contract Documents for the indicated public improvement were prepared under my supervision and, to the best of my knowledge and belief, they comply with the relevant building codes of the State of Maryland.

Signature \_\_\_\_\_ Date \_\_\_\_\_  
License # \_\_\_\_\_ Expiration Date \_\_\_\_\_

**PROJECT INFORMATION**

**PROJECT TITLE**

**ADVANCED TECHNOLOGY CENTER RENOVATION**

**PROJECT ADDRESS**

**11400 ROBINWOOD DRIVE  
HAGERSTOWN, MD 21742**

**PROJECT OWNER**

**HAGERSTOWN COMMUNITY COLLEGE**  
DEPARTMENT OF GENERAL SERVICES

**KEY PLAN**

**ISSUED FOR**

DESCRIPTION:	DATE:
DESIGN DEVELOPMENT SUBMISSION	09/20/2024
50% CONSTRUCTION DOCUMENTS	03/14/2025
95% CONSTRUCTION DOCUMENTS	05/02/2025
100% CONSTRUCTION DOCUMENTS	06/06/2025
PERMIT SUBMISSION	07/16/2025
BID SUBMISSION	09/05/2025
ADDENDUM #2	10/03/2025

CAD DWG FILE:  
DRAWN BY: NHA  
CHK'D BY: NHA

**JOB NUMBER: 24901 & DGS CC-02-MC23-482**  
ISSUE DATE: **09/05/2025**  
SHEET TITLE:

**FLOOR PLAN - FIRST FLOOR**

SHEET NUMBER:  
**A102**  
SHEET 31 OF 181  
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The Contract Documents for the indicated public improvement were prepared under my supervision and, to the best of my knowledge and belief, they comply with the relevant building codes of the State of Maryland.

Signature \_\_\_\_\_ Date \_\_\_\_\_

License # \_\_\_\_\_, Expiration Date \_\_\_\_/\_\_\_\_/\_\_\_\_

## PROJECT INFORMATION

PROJECT TITLE

## ADVANCED TECHNOLOGY CENTER RENOVATION

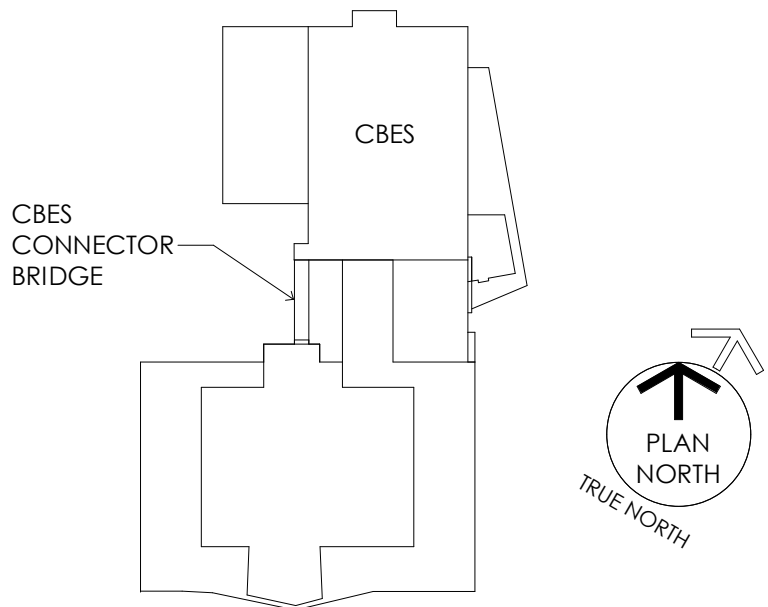
PROJECT ADDRESS

11400 ROBINWOOD DRIVE  
HAGERSTOWN, MD 21742

PROJECT OWNER

SHEET INFORMATION

### KEY PLAN

[illegible]

CAD DWG FILE:

DRAWN BY: NHA

CHK'D BY: NHA

JOB NUMBER: 24901 & DGS CC-02-MC23-482

ISSUE DATE: 09/05/2025

SHEET TITLE:

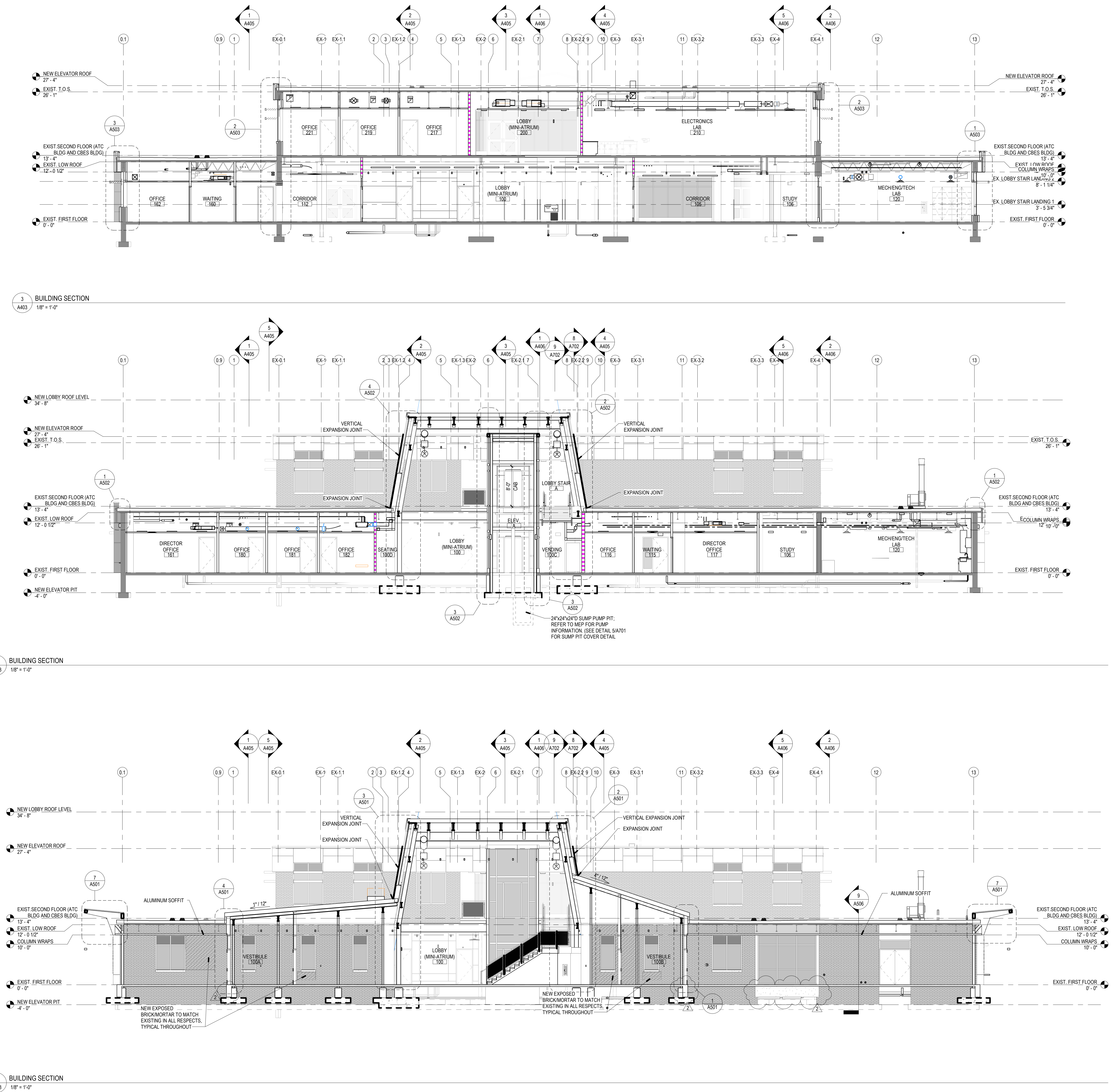
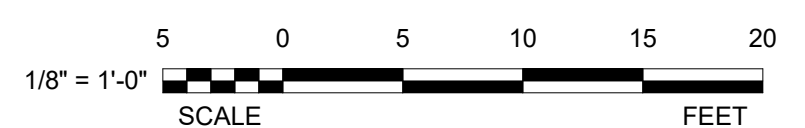
## BUILDING SECTIONS

SHEET NUMBER:

# A403

SHEET 43 OF 181

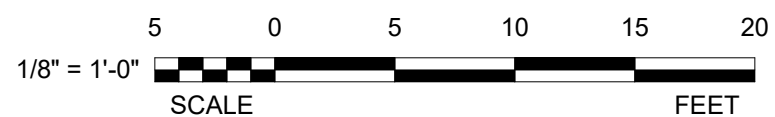
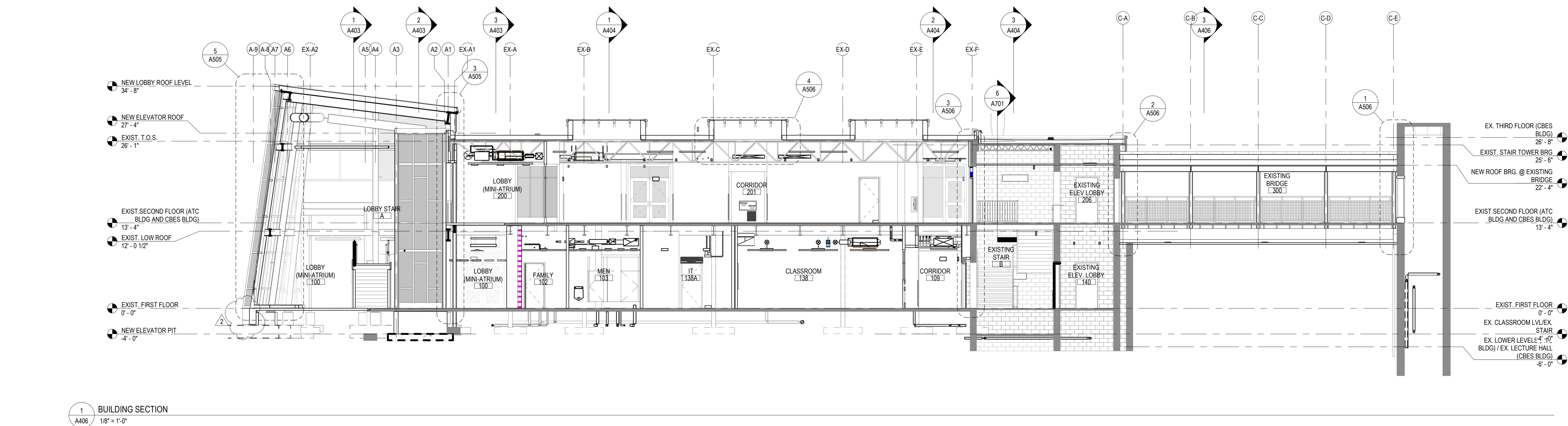
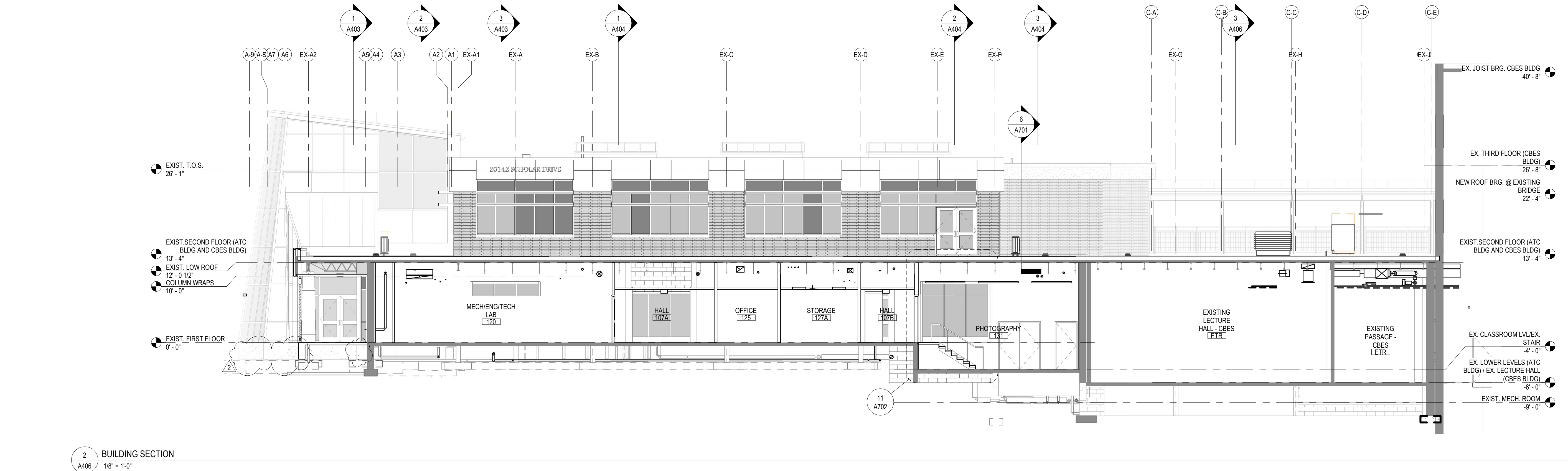
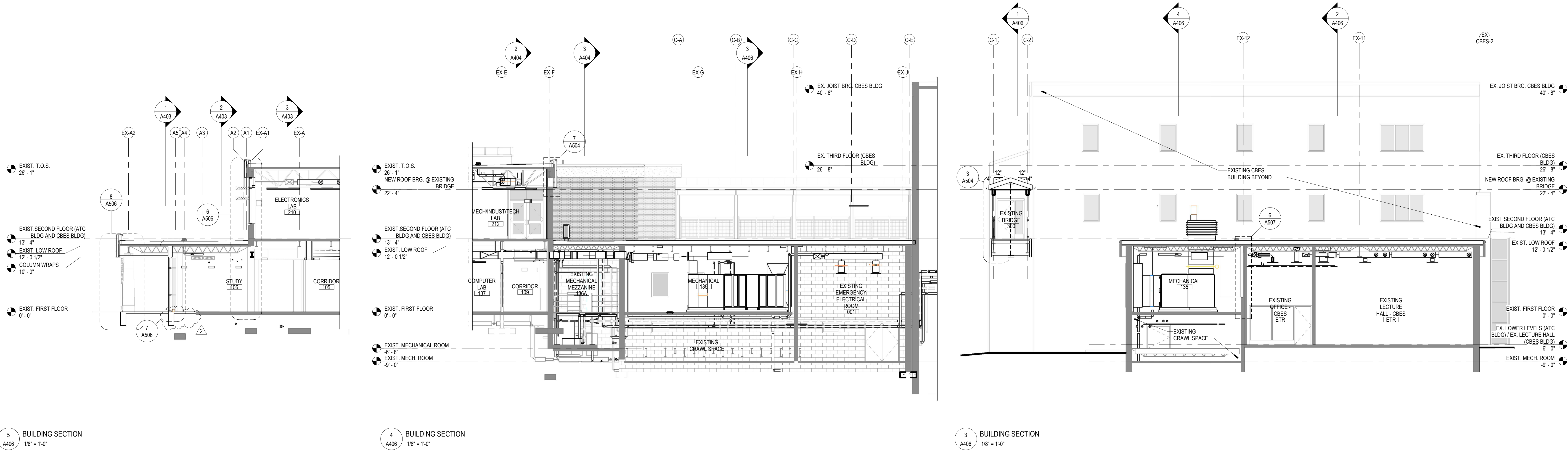
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PROJECT TEAM



NOELKER  
AND HULL  
ASSOCIATES, INC.  
ARCHITECTS

6 NORTH EAST STREET, SUITE 300  
FREDERICK, MD | 21701-5680  
P: 301.662.8611 | F: 301.662.8632  
NOELKERHULL.COM



TRIAD ENGINEERING, INC.

1075 D Sherman Ave  
Hagerstown, MD | 21740  
P: 301.797.6400 | F: 301.797.2424



HUMAN & ROHDE, INC.

Landscape Architects  
512 Virginia Ave  
Towson, MD | 21286  
P: 410.825.3885 | F: 410.825.3887



Advanced Consulting Engineers P.A.

Structural Engineers  
5235 Westview Drive  
Suite 100  
Frederick, MD | 21703  
P: 301.258.8884



Henry Adams, LLC

400 Baltimore Ave  
Suite 400  
Baltimore, MD | 21204  
P: 410.296.6500



Wright Engineering, LLC

Data / Communications  
853 Ripple Stream Court  
Joppa, MD | 21085  
P: 410.877.6297 | F: 866.635.0374

The Contract Documents for the indicated public improvement were prepared under my supervision and, to the best of my knowledge and belief, they comply with the relevant building codes of the State of Maryland.  
Signature \_\_\_\_\_ Date \_\_\_\_\_  
License # \_\_\_\_\_ Expiration Date \_\_\_\_\_

PROJECT INFORMATION

PROJECT TITLE

ADVANCED TECHNOLOGY  
CENTER RENOVATION

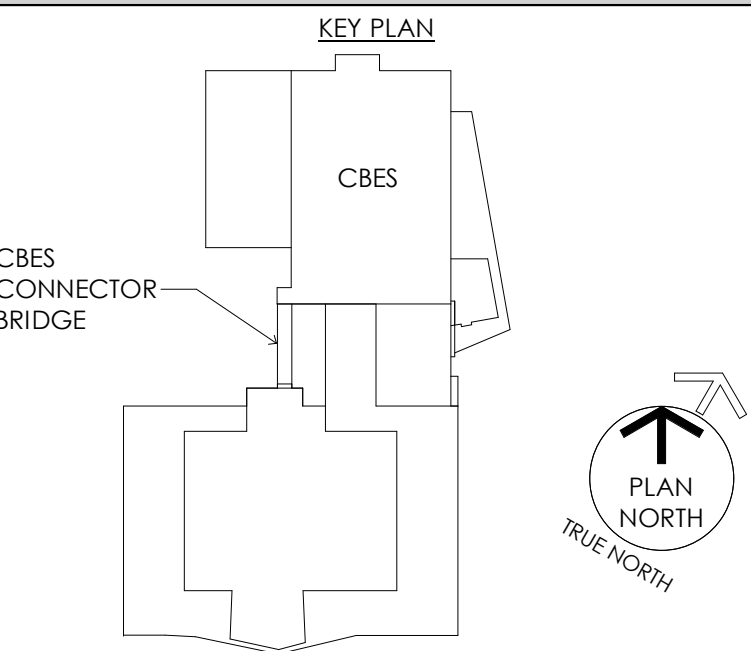
PROJECT ADDRESS

11400 ROBINWOOD DRIVE  
HAGERSTOWN, MD 21742

PROJECT OWNER



KEY PLAN



ISSUED FOR

DESCRIPTION:	DATE:
DESIGN DEVELOPMENT SUBMISSION	09/20/2024
50% CONSTRUCTION DOCUMENTS	03/14/2025
95% CONSTRUCTION DOCUMENTS	05/02/2025
100% CONSTRUCTION DOCUMENTS	06/06/2025
PERMIT SUBMISSION	07/16/2025
BID SUBMISSION	09/05/2025
ADDENDUM #2	10/03/2025

CAD DWG FILE:  
DRAWN BY: NHA  
CHKD BY: NHA

JOB NUMBER: 24901 & DGS CC-02-MC23-482  
ISSUE DATE: 09/05/2025  
SHEET TITLE:

BUILDING SECTIONS

SHEET NUMBER:

A406

SHEET 46 OF 181

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Signature \_\_\_\_\_ Date \_\_\_\_\_  
 License # \_\_\_\_\_ Expiration Date \_\_\_\_/\_\_\_\_/\_\_\_\_

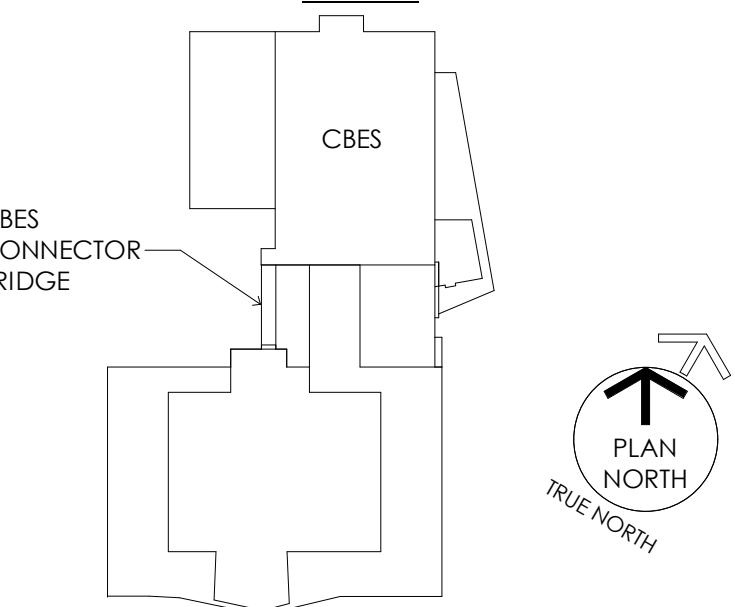
PROJECT INFORMATION

PROJECT TITLE

**PROJECT ADDRESS**  
**1 ROBINWOOD DRIVE**  
**HERSTOWN, MD 21742**

PROJECT OWNER

## SHEET INFORMATION

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AD DWG FILE:  
RAWN BY: NHA  
CHK'D BY: NHA

DOB NUMBER:	24901 & DGS CC-02-MC23-482
SUE DATE:	09/05/2025
SHEET TITLE:	

## ALL SECTIONS

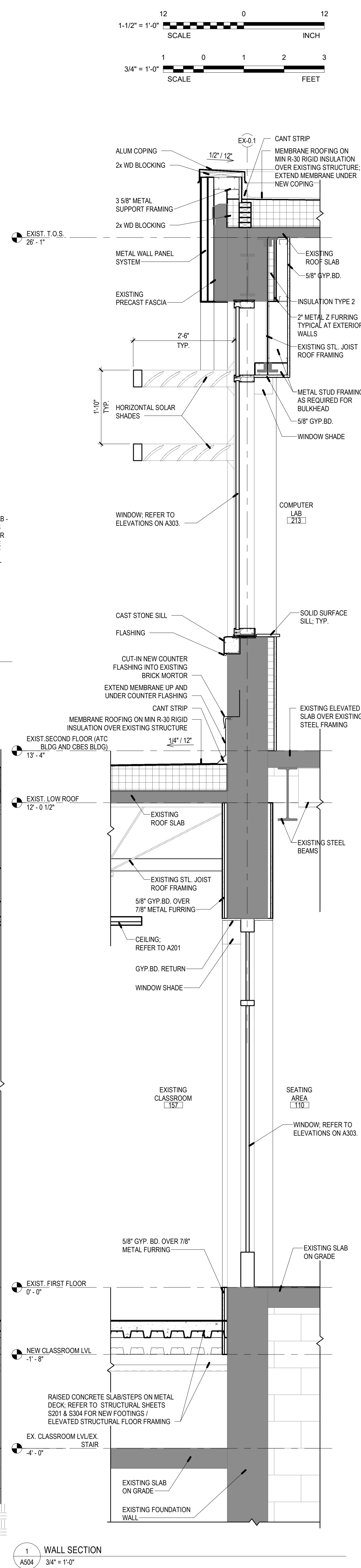
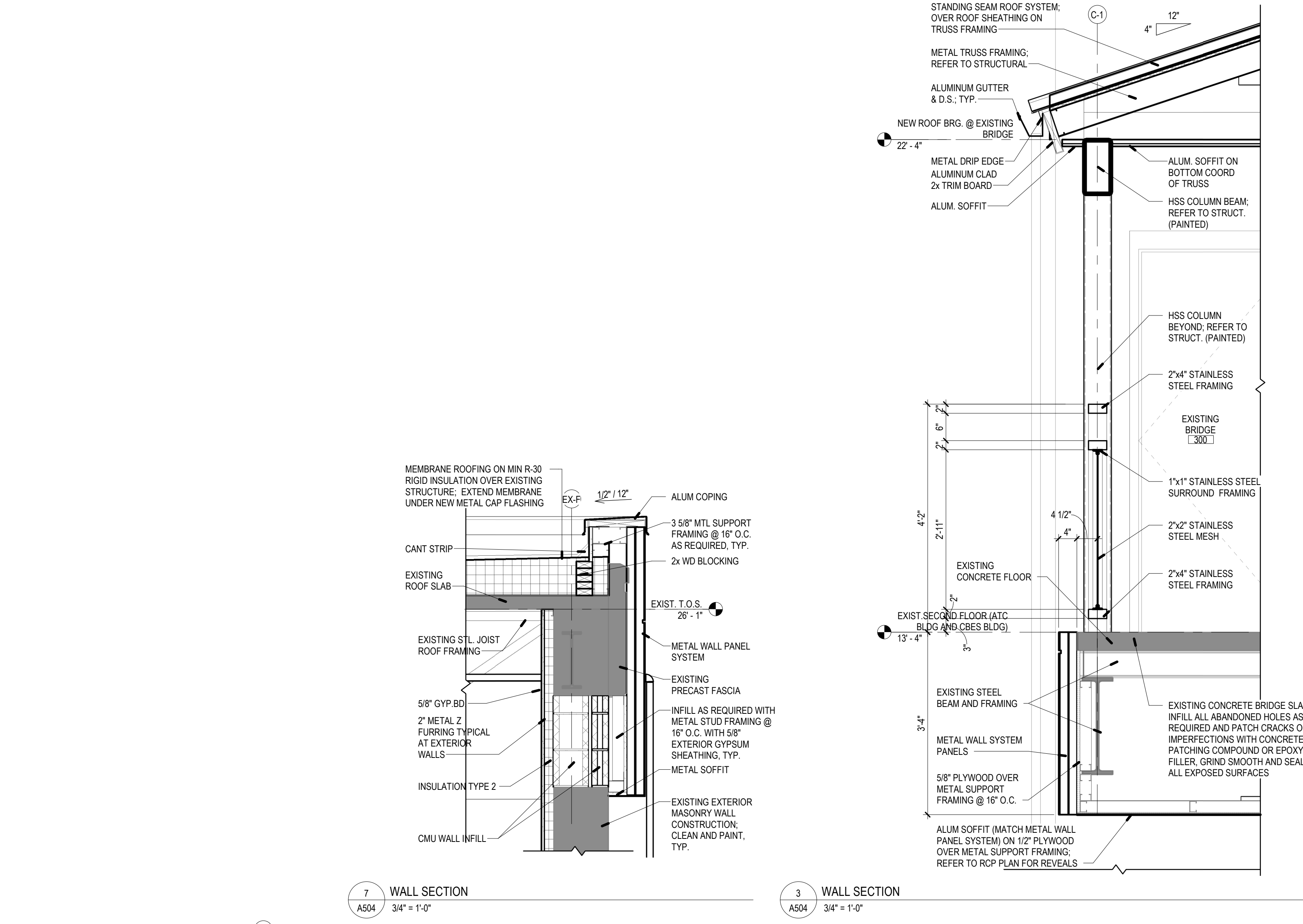
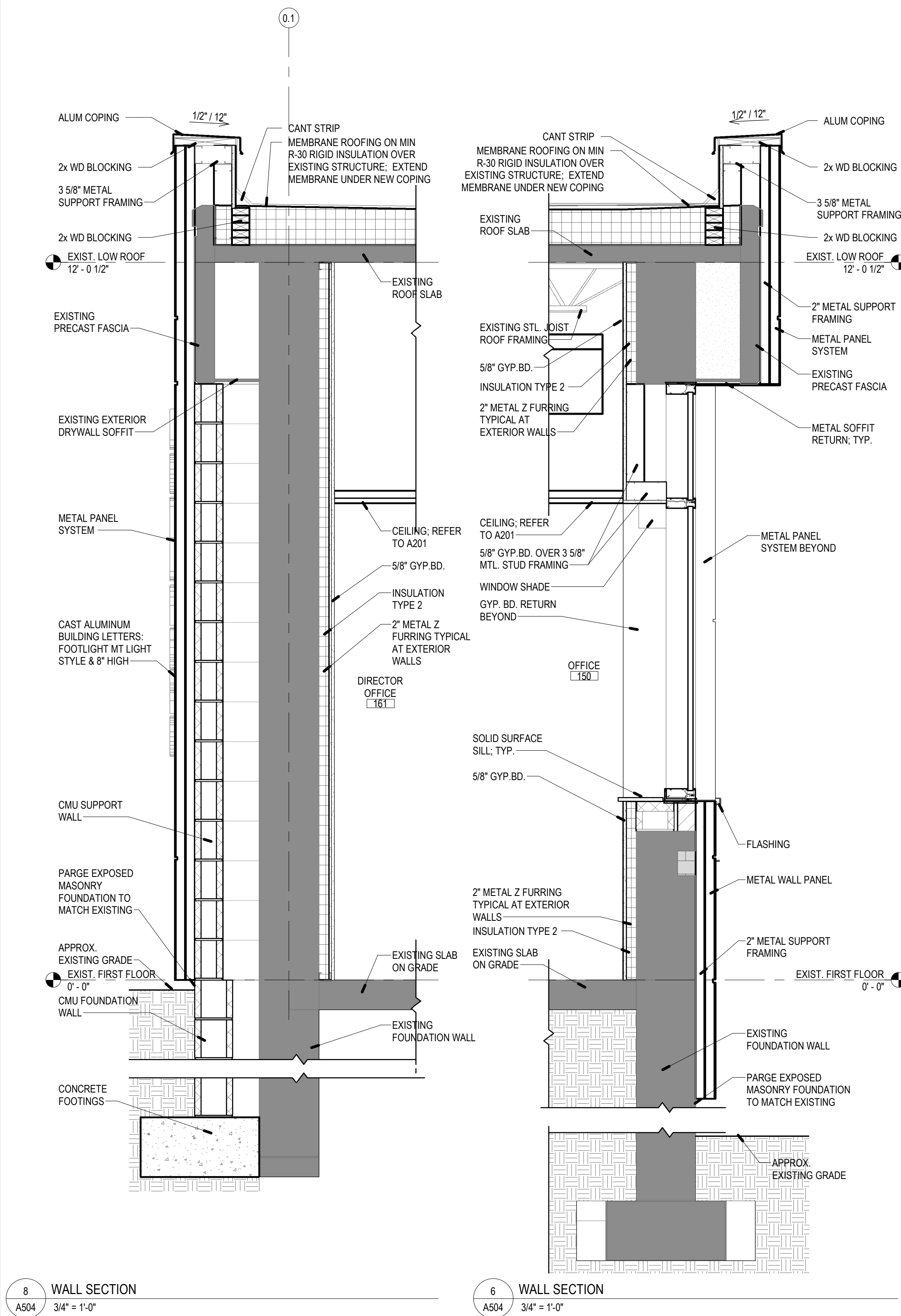
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10/20/2025 2:54:55 PM Autodesk Docs (2/20/2025) HCC ATC Renovation (2/20/25) HCC ATC Draw (2/20/25)



**PROJECT TEAM**

**NOELKER AND HULL ASSOCIATES, INC.**  
ARCHITECTS  
6 NORTH EAST STREET, SUITE 300  
FREDERICK, MD | 21701-5680  
P: 301.662.8611 | F: 301.662.8632  
NOELKERHULL.COM

**TRIAD ENGINEERING, INC.**  
1075 D Sherman Ave  
Hagerstown, MD | 21740  
P: 301.797.6400 | F: 301.797.2424

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Landscape Architects  
512 Virginia Ave  
Towson, MD | 21284  
P: 410.825.3885 | F: 410.825.3887

**Advanced Consulting Engineers P.A. Structural Engineers**  
5235 Westview Drive  
Suite 100  
Frederick, MD | 21703  
P: 301.258.8884

**Henry Adams, LLC**  
400 Baltimore Ave  
Suite 400  
Baltimore, MD | 21204  
P: 410.296.6500

**Wright Engineering, LLC Data / Communications**  
853 Ripple Stream Court  
Joppa, MD | 21085  
P: 410.877.6297 | F: 866.635.0374

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Signature \_\_\_\_\_ Date \_\_\_\_\_  
License # \_\_\_\_\_ Expiration Date \_\_\_\_\_

**PROJECT INFORMATION**

**PROJECT TITLE**

**PROJECT ADDRESS**  
11400 ROBINWOOD DRIVE  
HAGERSTOWN, MD 21742

**PROJECT OWNER**

**HAGERSTOWN COMMUNITY COLLEGE**  
DEPARTMENT OF GENERAL SERVICES

**KEY PLAN**

**ISSUED FOR**

DESCRIPTION:	DATE:
DESIGN DEVELOPMENT SUBMISSION	09/20/2024
50% CONSTRUCTION DOCUMENTS	03/14/2025
95% CONSTRUCTION DOCUMENTS	05/02/2025
100% CONSTRUCTION DOCUMENTS	06/06/2025
PERMIT SUBMISSION	07/16/2025
BID SUBMISSION	09/05/2025
ADDENDUM #2	10/03/2025

CAD DWG FILE:  
DRAWN BY: NHA  
CHK'D BY: NHA

JOB NUMBER: **24901 & DGS CC-02-MC23-482**  
ISSUE DATE: **09/05/2025**  
SHEET TITLE:

**WALL SECTIONS**

SHEET NUMBER:  
**A504**  
SHEET 50 OF 181  
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6 NORTH EAST STREET, SUITE 300  
FREDERICK, MD | 21701-5680  
P: 301.662.8611 | F: 301.662.8632  
NOELKERHULL.COM



1075 D Sherman Ave  
Hagerstown, MD | 21740  
P: 301.797.6400 | F: 301.797.2424



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Signature \_\_\_\_\_ Date \_\_\_\_\_  
License # \_\_\_\_\_ Expiration Date \_\_\_\_\_

## ADVANCED TECHNOLOGY CENTER RENOVATION

PROJECT ADDRESS

11400 ROBINWOOD DRIVE  
HAGERSTOWN, MD 21742

PROJECT OWNER



KEY PLAN

ISSUED FOR

DESCRIPTION:	DATE:
DESIGN DEVELOPMENT SUBMISSION	09/20/2024
50% CONSTRUCTION DOCUMENTS	03/14/2025
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BID SUBMISSION	09/05/2025
ADDENDUM #2	10/03/2025

CAD DWG FILE:  
DRAWN BY: NHA  
CHK'D BY: NHA

JOB NUMBER: **24901 & DGS CC-02-MC23-482**  
ISSUE DATE: **09/05/2025**  
SHEET TITLE:

WALL SECTIONS

SHEET NUMBER:

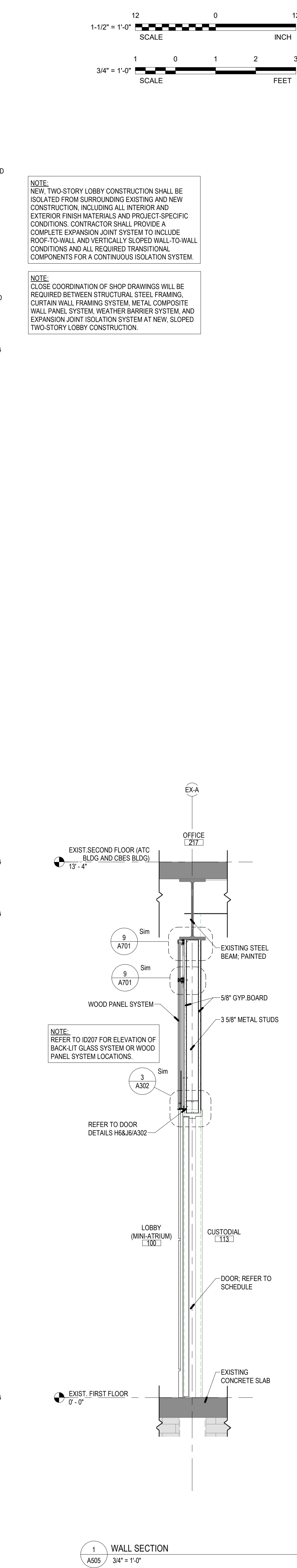
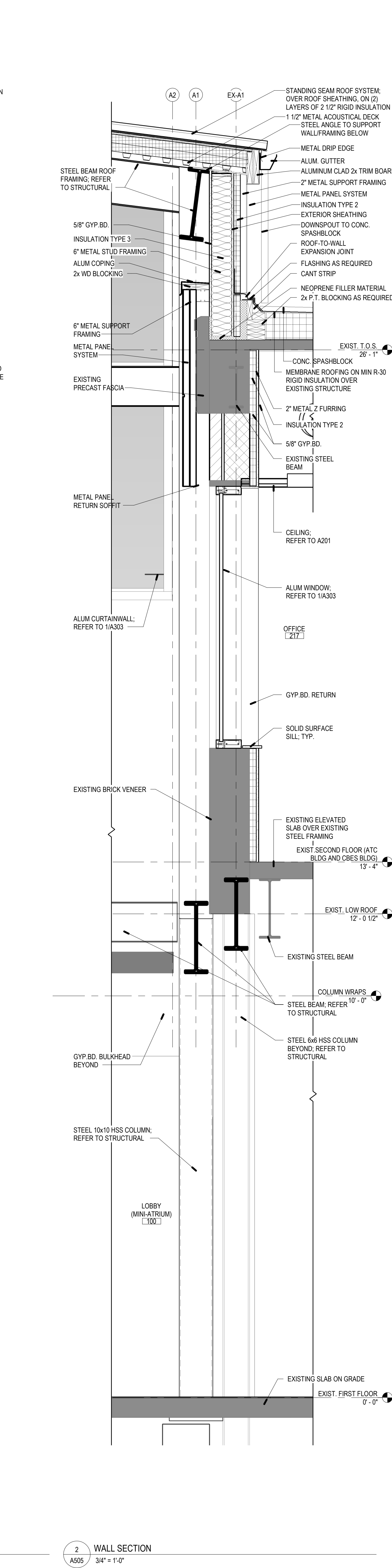
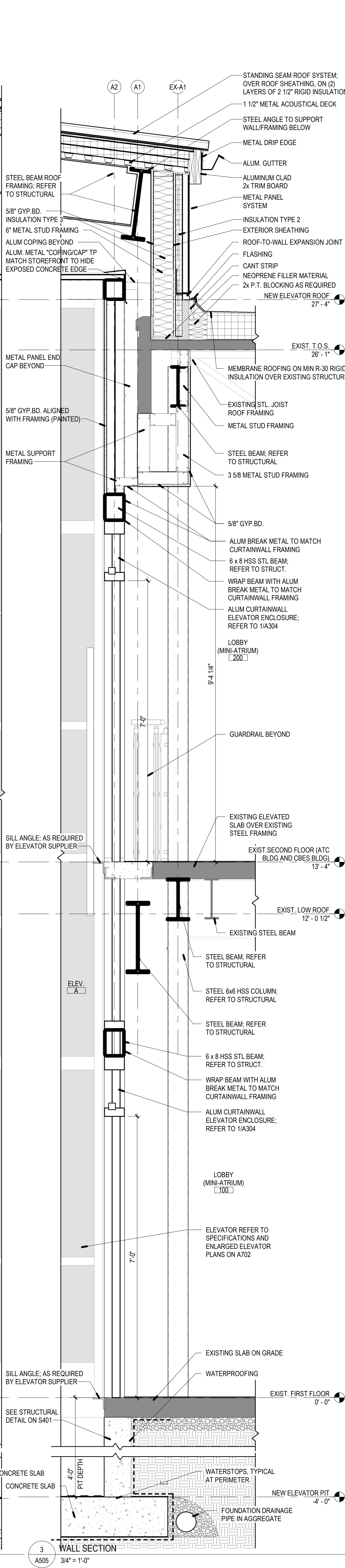
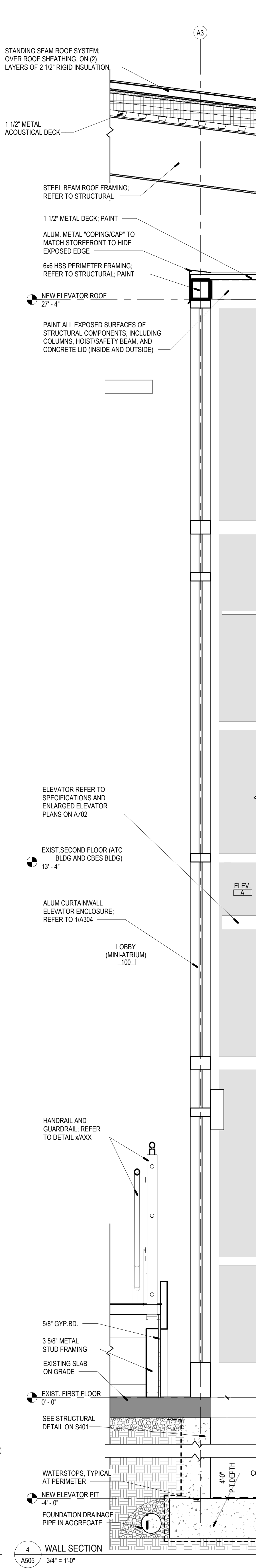
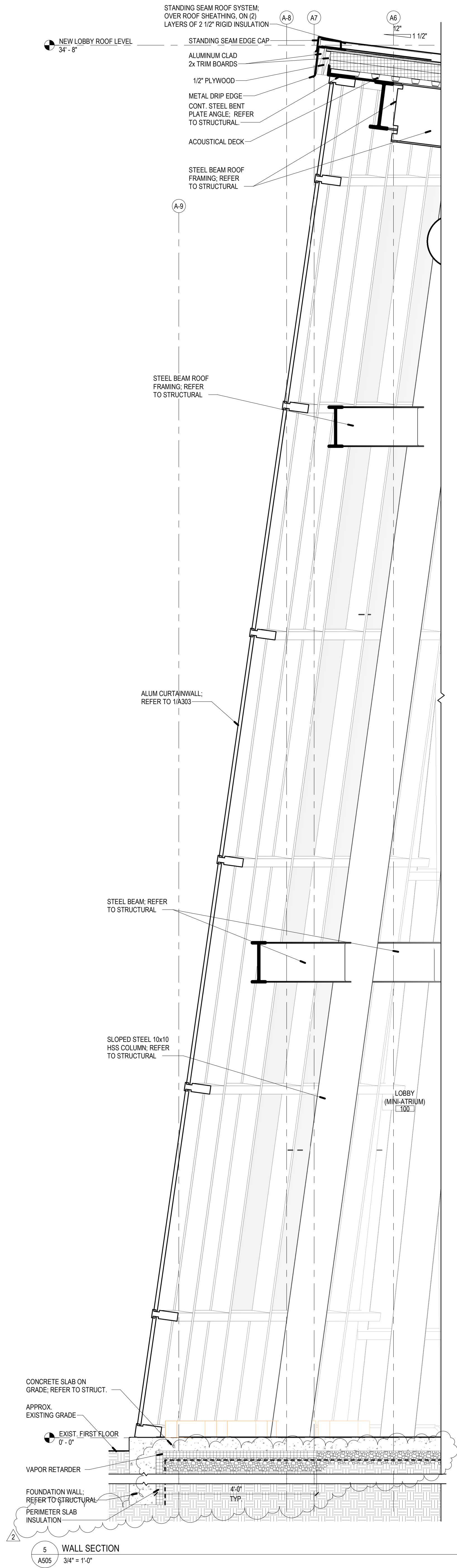
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SHEET 50 OF 181

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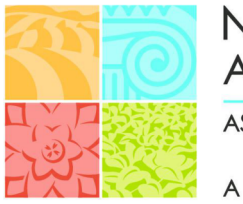
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10/2/2025 2:56:24 PM



NOTE:  
NEW, TWO-STORY LOBBY CONSTRUCTION SHALL BE ISOLATED FROM SURROUNDING EXISTING AND NEW CONSTRUCTION, INCLUDING ALL INTERIOR AND EXTERIOR FINISH MATERIALS AND PROJECT-SPECIFIC CONDITIONS. CONTRACTOR SHALL PROVIDE A COMPLETE EXPANSION JOINT SYSTEM TO INCLUDE ROOF-TO-WALL AND VERTICALLY SLOPED WALL-TO-WALL CONDITIONS AND ALL REQUIRED TRANSITIONAL COMPONENTS FOR A CONTINUOUS ISOLATION SYSTEM.

NOTE:  
CLOSE COORDINATION OF SHOP DRAWINGS WILL BE REQUIRED BETWEEN STRUCTURAL STEEL FRAMING, CURTAIN WALL FRAMING SYSTEM, METAL COMPOSITE WALL PANEL SYSTEM, WEATHER BARRIER SYSTEM, AND EXPANSION JOINT ISOLATION SYSTEM AT NEW, SLOPED TWO-STORY LOBBY CONSTRUCTION.

PROJECT TEAM



NOELKER  
AND HULL  
ASSOCIATES, INC.  
ARCHITECTS

6 NORTH EAST STREET, SUITE 300  
FREDERICK, MD | 21701-5680  
P: 301.662.8611 | F: 301.662.8632  
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License # \_\_\_\_\_ Expiration Date \_\_\_\_\_

PROJECT INFORMATION

PROJECT TITLE

PROJECT ADDRESS  
11400 ROBINWOOD DRIVE  
HAGERSTOWN, MD 21742

PROJECT OWNER  
HAGERSTOWN COMMUNITY COLLEGE  
DEPARTMENT OF GENERAL SERVICES

KEY PLAN

ISSUED FOR

DESCRIPTION:	DATE:
DESIGN DEVELOPMENT SUBMISSION	09/20/2024
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BID SUBMISSION	09/05/2025
ADDENDUM #2	10/03/2025

CAD DWG FILE:  
DRAWN BY: NHA  
CHK'D BY: NHA

JOB NUMBER: 24901 & DGS CC-02-MC23-482  
ISSUE DATE: 09/05/2025  
SHEET TITLE:

WALL SECTIONS

SHEET NUMBER:  
**A505**  
SHEET 51 OF 181  
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## PROJECT INFORMATION

PROJECT TITLE

PROJECT ADDRESS

PROJECT OWNER



HAGERSTOWN  
COMMUNITY  
COLLEGE



Maryland  
DEPARTMENT OF  
GENERAL SERVICES

**SHEET INFORMATION**

### KEY PLAN

ISSUED FOR

[illegible]

CAD DWG FILE:

DRAWN BY: NHA

DRAWN BY: NHA

JOB NUMBER: 24901 &amp; DGS CC-02-MC23-482

ISSUE DATE: 08/05/2024

SHEET TITLE

## WALL SECTIONS

SHEET NUMBER:

# A506

SHEET 52 OF 181

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